

DEVELOPMENT PROPOSAL FOR PUBLIC COMMENT

The following development proposal has been submitted to the Council and although not designated under the Environmental Planning & Assessment Act, 1979, is notified for public comment:

| Portal Application Number | DA No. | Location | Proposal |
|----------------------------------|---------------|--|--|
| PAN-423466 | 31/2024 | LOT: 16 SEC: 27 DP: 758366, 32 Lord Street DUNGOG Applicant: Your Home Design Owners: Mr J R Connors & Ms F L Gowing Consent Authority: Dungog Shire Council | Alteration & Extension to Dwelling, Retaining Walls and Demolition of Ancillary Structures |

Details of the above proposal are available for inspection on the NSW Planning Portal website from **Friday 19 April 2024**.

<https://www.dungog.nsw.gov.au/Council/Council-Advertisements/Development-Applications>

Submissions can be made via the NSW Planning Portal until **Friday 3 May 2024**. If you require assistance making a submission via the Planning Portal, please contact Council.

In accordance with *Section 10.4* of the *Environmental Planning & Assessment Act 1979*, a person who makes a public submission to Council in relation to this application is required to disclose all reportable political donations within two years prior to the submission being made and ending when the application is determined.

If the submission includes an objection to the proposal, the grounds of objection must be given. Council may also be obliged to release your submission as required by the *Government Information (Public Access) Act 2009* and the *Environmental Planning and Assessment Act 1979*.

Further, as stipulated in Council's Public Submissions Policy C1.19, Council will not place any weight on anonymous submissions when determining the respective development application.

**DUNGOG SHIRE COUNCIL
EXHIBITED COPY**

Commencement Date 19 April 2024

Closing Date 3 May 2024



CONNORS RENOVATION

32 LORD ST, DUNGOG, 2420
LOT 16, 27, DP 758366

YOUR
HOME
DESIGNS

PAGE DRAWING SCALE

| | | |
|-------|---------------------------------|--------------|
| 0 | COVER | |
| DA.1 | INDEX BASIX | |
| DA.2 | SITE PLAN | 1:200, 1:500 |
| DA.3 | EROSION & SEDIMENT CONTROL PLAN | 1:200 |
| DA.4 | STORMWATER PLAN | 1:200 |
| DA.5 | PROPOSED FLOOR PLAN | 1:100 |
| DA.6 | DEMOLITION OVERLAY | 1:100 |
| DA.7 | ELEVATIONS | 1:100 |
| DA.8 | ELEVATIONS | 1:100 |
| DA.9 | SECTION | 1:100 |
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| DA.11 | NOTIFICATION PLAN | 1:200 |

BASIX[®] Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A1740945

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 22 March 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



page 1/8

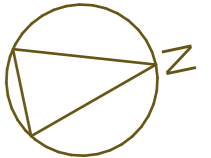
| Project address | |
|--|---|
| Project name | Connors |
| Street address | 32 LORD Street DUNGOG 2420 |
| Local Government Area | Dungog Shire Council |
| Plan type and number | Deposited Plan DP758366 |
| Lot number | 16 |
| Section number | 27 |
| Project type | |
| Dwelling type | Separate dwelling house |
| Type of alteration and addition | My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa). |
| N/A | N/A |
| Certificate Prepared by (by/issue complete before submitting to Council or PCA) | |
| Name / Company Name: YOUR HOME DESIGNS PTY LTD | |
| ABN (if applicable): 15631053828 | |

| Fixtures and systems | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|------------------|------------------------------|-----------------|
| Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. | | ✓ | ✓ |
| Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. | | ✓ | ✓ |
| The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. | | ✓ | ✓ |
| The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating. | | ✓ | |

| Glazing requirements | | | | | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|-------------|---|--------------------------|----------------------------|-------------------------------------|--|------------------|------------------------------|-----------------|
| Windows and glazed doors glazing requirements | | | | | | | | | |
| Window/door number | Orientation | Area of glass including frame (m ²) | Overshadowing height (m) | Overshadowing distance (m) | Shading device | Frame and glass type | | | |
| D3 | N | 6.12 | 0 | 0 | pergola (adjustable shade) >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| D4 | N | 6.12 | 0 | 0 | pergola (adjustable shade) >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| D2 | N | 1.67 | 0 | 0 | pergola (adjustable shade) >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W1 | S | 2.16 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W2 | S | 2.16 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |

YOUR HOME DESIGNS

design@yourhomedesigns.com.au
0407 749 380
www.yourhomedesigns.com.au



| Construction | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|--|---|------------------|------------------------------|-----------------|
| Insulation requirements The applicant must construct the new or altered construction (floor/s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists. | | | | | |
| | | | ✓ | ✓ | ✓ |
| Construction | Additional insulation required (R-value) | Other specifications | | | |
| concrete slab on ground floor. | nil | N/A | | | |
| external wall: framed (weatherboard, fibre, metal clad) | R1.30 (or R1.70 including construction) | | | | |
| raked ceiling, pitched/skillion roof: framed | ceiling: R2.50 (up), roof: foil/sarking | medium (solar absorptance 0.475 - 0.70) | | | |

| Glazing requirements | | | | | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|----------------------|-------------|---|--------------------------|----------------------------|--|--|------------------|------------------------------|-----------------|
| Window/door number | Orientation | Area of glass including frame (m ²) | Overshadowing height (m) | Overshadowing distance (m) | Shading device | Frame and glass type | | | |
| W3 | W | 4.48 | 13 | 5 | eave/verandah/pergola/balcony >=600 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W4 | W | 1.98 | 13 | 5 | eave/verandah/pergola/balcony >=600 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W5 | W | 0.72 | 13 | 12 | pergola (adjustable shade) >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |

NOTES

IF IN DOUBT, ASK BUILDER SHOULD CHECK ALL DIMENSIONS & LEVELS ON SITE PRIOR TO CONSTRUCTION. PLEASE NOTIFY ANY ERRORS, DISCREPANCIES OR OMISSIONS TO THE DESIGNER. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNTIL FINAL ISSUE HAS BEEN RELEASED & CERTIFIED BY A STRUCTURAL ENGINEER. DO NOT SCALE DRAWINGS. ALL BOUNDARIES, SETOUTS & CONTOURS ARE SUBJECT TO SURVEY. ALWAYS CHECK & CONFIRM ON SITE PRIOR TO CONSTRUCTION.

- CPD CUPBOARD
- DN DOWN
- DP DOWNPIPE
- DR DRYER
- DW DISHWASHER
- FG FRIDGE
- FFL FINISHED FLOOR LEVEL
- PTY PANTRY
- RL RELATIVE LEVEL
- S SINK
- SHW SHOWER
- T.O.W TOP OF WALL
- WC TOILET
- WIL WALK IN LINEN
- WM WASHING MACHINE

FLOOR AREAS

| | |
|-----------|----------------------|
| ALFRESCO | 37.8 |
| CARPORY | 30.0 |
| EXISTING | 147.9 |
| EXTENSION | 66.0 |
| | 281.7 m ² |

| Glazing requirements | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|------------------|------------------------------|-----------------|
| Windows and glazed doors The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm. Pergolas with adjustable shading may have adjustable blades or removable shade cloth (not less than 80% shading ratio). Adjustable blades must overlap in plan view. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below. | ✓ | ✓ | ✓ |

| Glazing requirements | | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|--|----------------|---|------------------|------------------------------|-----------------|
| Skylights The applicant must install the skylights in accordance with the specifications listed in the table below. The following requirements must also be satisfied in relation to each skylight: Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. | | | | | | |
| Skylights glazing requirements | | | | | | |
| Skylight number | Area of glazing inc. frame (m ²) | Shading device | Frame and glass type | | | |
| S1 | 0.92 | no shading | timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5) | | | |
| S2 | 0.92 | no shading | timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5) | | | |

Client
CONNORS

Project Address
32 LORD ST,
DUNGOG, 2420
LOT 16, 27, DP 758366

Drawing Title:
INDEX BASIX

| Rev. | Date | Designer |
|------|----------|----------|
| A1 | 27/10/23 | SR |
| A3 | 29/11/23 | SR |
| A4 | 21/02/24 | SR |
| B1 | 29/02/24 | SR |
| B2 | 14/03/24 | SR |
| C1 | 22/03/24 | SR |

Plot Date: 22/3/24

| Job Ref: | Page No: | Rev |
|----------|----------|-----|
| YHD-721 | DA.1 | C1 |

SEDIMENT CONTROL NOTES

SEDIMENT FENCE

AN EROSION AND SEDIMENT CONTROL PLAN SHOULD BE IMPLEMENTED ON SITE AND PRIOR TO CONSTRUCTION. 1000 WIDE SEDIMENT FENCES SHOULD BE USED WHERE STORMWATER LEAVES THE SITE TO REDUCE SEDIMENT FROM BEING TRACKED OFF SITE AND ONTO ROAD.

DIVERSION DRAINS

APPROX 150MM - TO BE USED TO DIRECT UP-SLOPE WATER AROUND SITE. WATER SHALL BE DIRECTED TO A STABLE AREA FOR ABSORPTION OR TO A PROTECTED SEDIMENT CONTROLLED AREA. A SLOPED VEE DRAIN (MIN 100 FALL) FROM BUILDING AND BOUNDARY SHOULD BE USED TO PROTECT STORMWATER DISCHARGE INTO NEIGHBOURING PROPERTIES

STABILISED ENTRY/EXIT

IT IS RECOMMENDED TO APPLY A SINGLE VEHICLE ENTRY & EXIT PAD TO MINIMISE SEDIMENT BEING TRACKED OFF SITE AND ONTO ROAD. A 'RUMBLE PAD' SHOULD BE USED TO PROTECT SERVICES LOCATED IN THE VERGE, CONSTRUCTED OF A MIN. 150MM LAYER OF 140MM RECYCLED AGGREGATE OR CRUSHED ROCK OVER A GEOTEXTILE FABRIC BASE. A RAISED AREA ACROSS THE HUMP CAN BE USED TO DIRECT STORMWATER RUNOFF INTO A SEDIMENT CONTROLLED AREA. CALL DIAL BEFORE YOU DIG TO DETERMINE LOCATION OF SERVICES

WASTE MANAGEMENT

A WASTE MANAGEMENT PLAN SHOULD BE USED TO SUFFICIENTLY DISPOSE OF ALL WASTE OFF SITE TO ENSURE AGAINST THE CONTAMINATION OF STORMWATER





STOCKPILES

TO BE LOCATED UPHILL TO ENSURE THE PROTECTION FROM STORMWATER RUNOFF & DRAINAGE PATHWAYS - IF UNABLE TO BE STORED UPHILL, A BANK OR DIVERSION DRAIN SHALL BE USED AROUND THE STOCKPILE AREAS.

CONTAMINANTS MANAGEMENT

ALL CONTAMINANTS SHOULD BE PREVENTED FROM DISCHARGING INTO DRAINS. A DEDICATED AREA FOR CONCRETE WASTE, EQUIPMENT & PAINT CLEANING MUST BE UTILIZED. MINIMISE DUST BY USING EQUIPMENT THAT RECYCLES WATER, FILTERS DUST AND CONTAINS SLURRY.

LEGEND

- SEDIMENT FENCE 
- STOCKPILE 
- WASTE MANAGEMENT 
- EXISTING CONTOURS 

WARNING

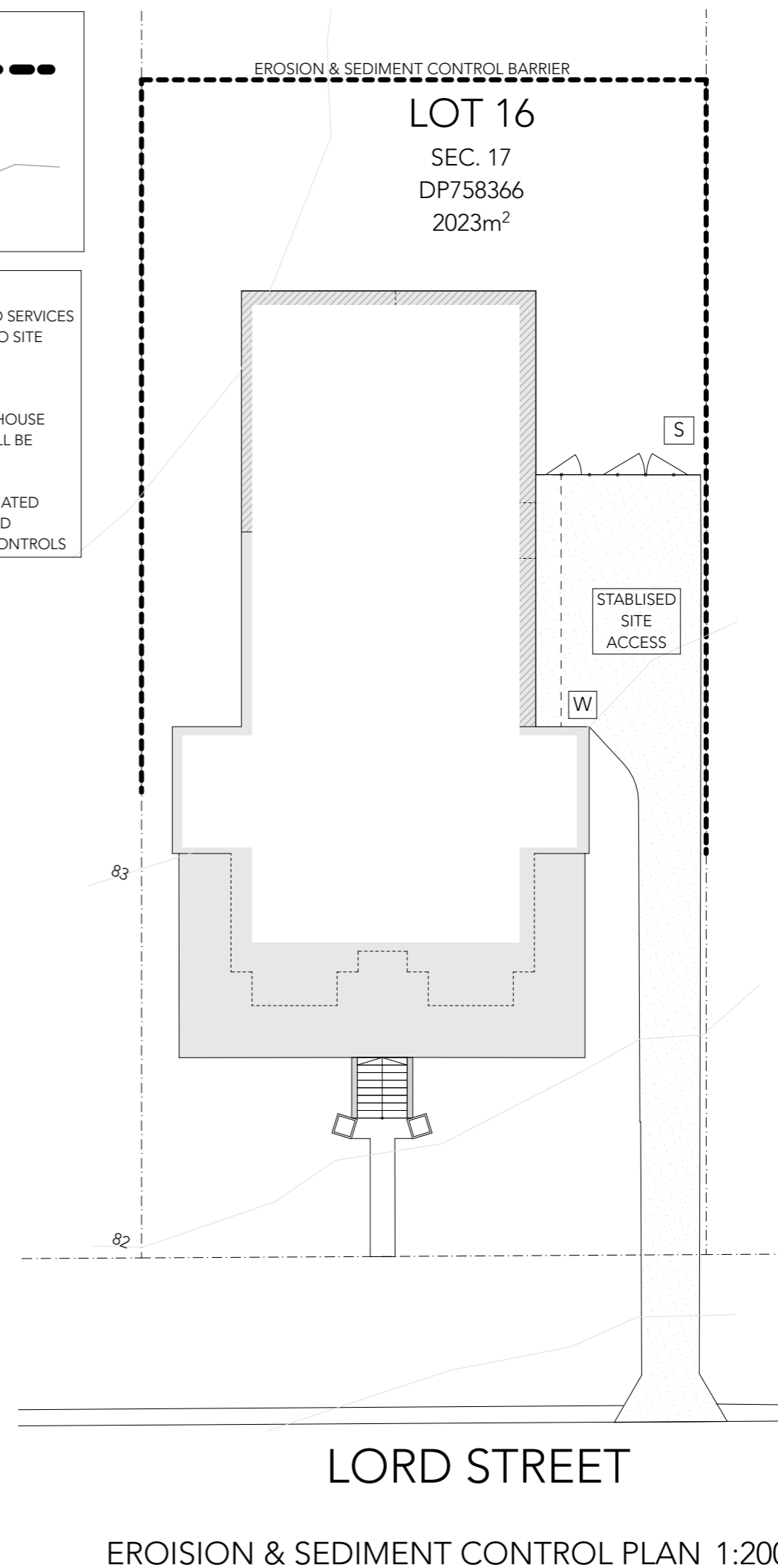
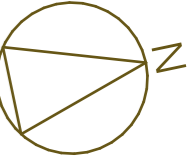
BEWARE OF EXISTING UNDERGROUND SERVICES - CONTRACTOR TO CONFIRM PRIOR TO SITE WORKS

ANY DAMAGE TO THE ROAD VERGE LANDSCAPING OR SERVICES DURING HOUSE AND LANDSCAPE CONSTRUCTION WILL BE RECTIFIED AT CONTRACTORS COST

PLEASE ENSURE BUILDERS USE NOMINATED ACCESS ONLY TO ENTER SITE TO AVOID DAMAGE TO EROSION & SEDIMENT CONTROLS

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NOTES

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- CPD CUPBOARD
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- FG FRIDGE
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- RL RELATIVE LEVEL
- S SINK
- SHW SHOWER
- T.O.W TOP OF WALL
- WC TOILET
- WIL WALK IN LINEN
- WM WASHING MACHINE

FLOOR AREAS

| | |
|-----------|----------|
| ALFRESCO | 37.8 |
| CARPORT | 30.0 |
| EXISTING | 147.9 |
| EXTENSION | 66.0 |
| | 281.7 m² |

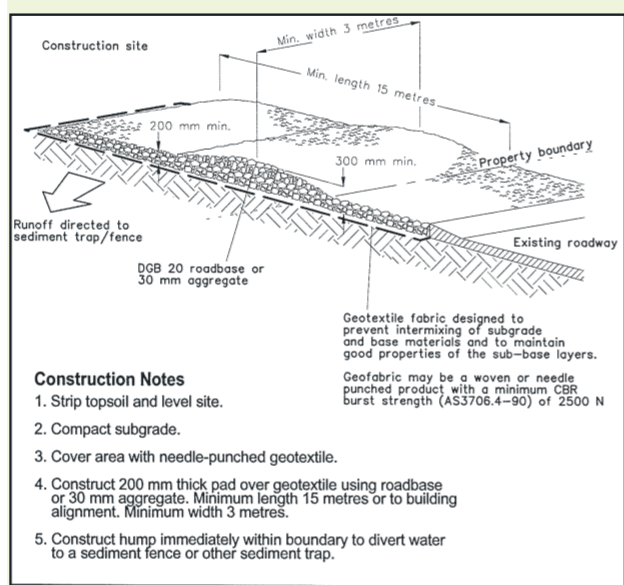
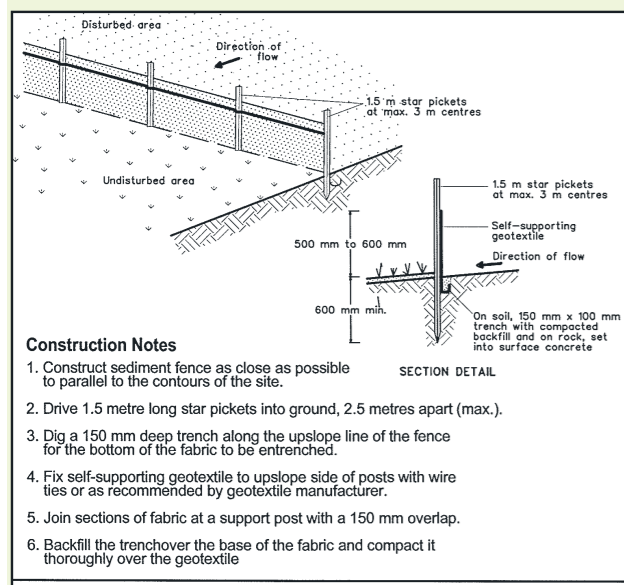
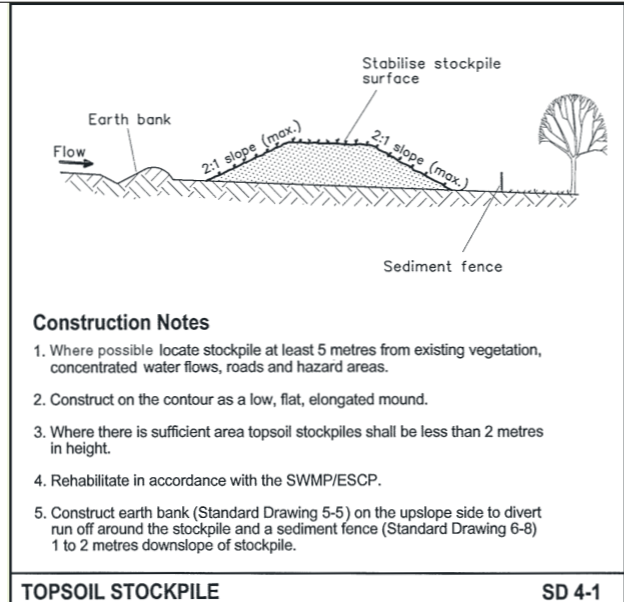
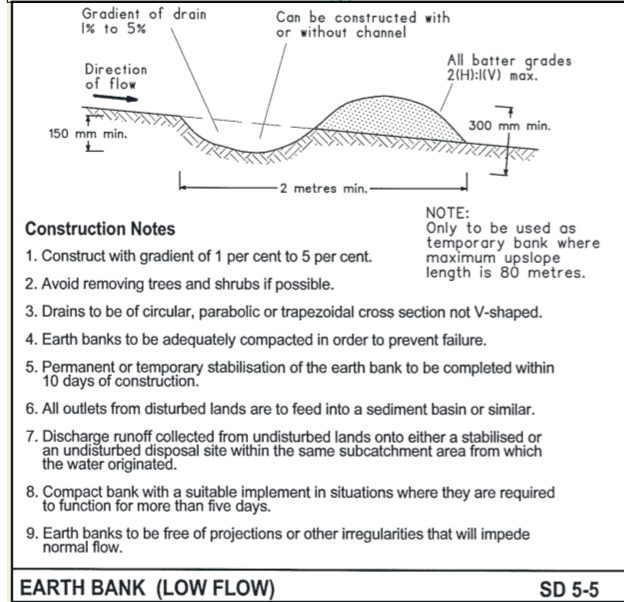
Client
CONNORS
Project Address
32 LORD ST,
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LOT 16, 27, DP 758366

Drawing Title:
EROSION & SEDIMENT CONTROL PLAN

| Rev. | Date | Designer |
|------|----------|----------|
| A1 | 27/10/23 | SR |
| A3 | 29/11/23 | SR |
| A4 | 21/02/24 | SR |
| B1 | 29/02/24 | SR |
| B2 | 14/03/24 | SR |
| C1 | 22/03/24 | SR |

Plot Date: 22/3/24

| | | |
|----------|----------|-----|
| Job Ref: | Page No: | Rev |
| YHD-721 | DA.3 | C1 |



LORD STREET

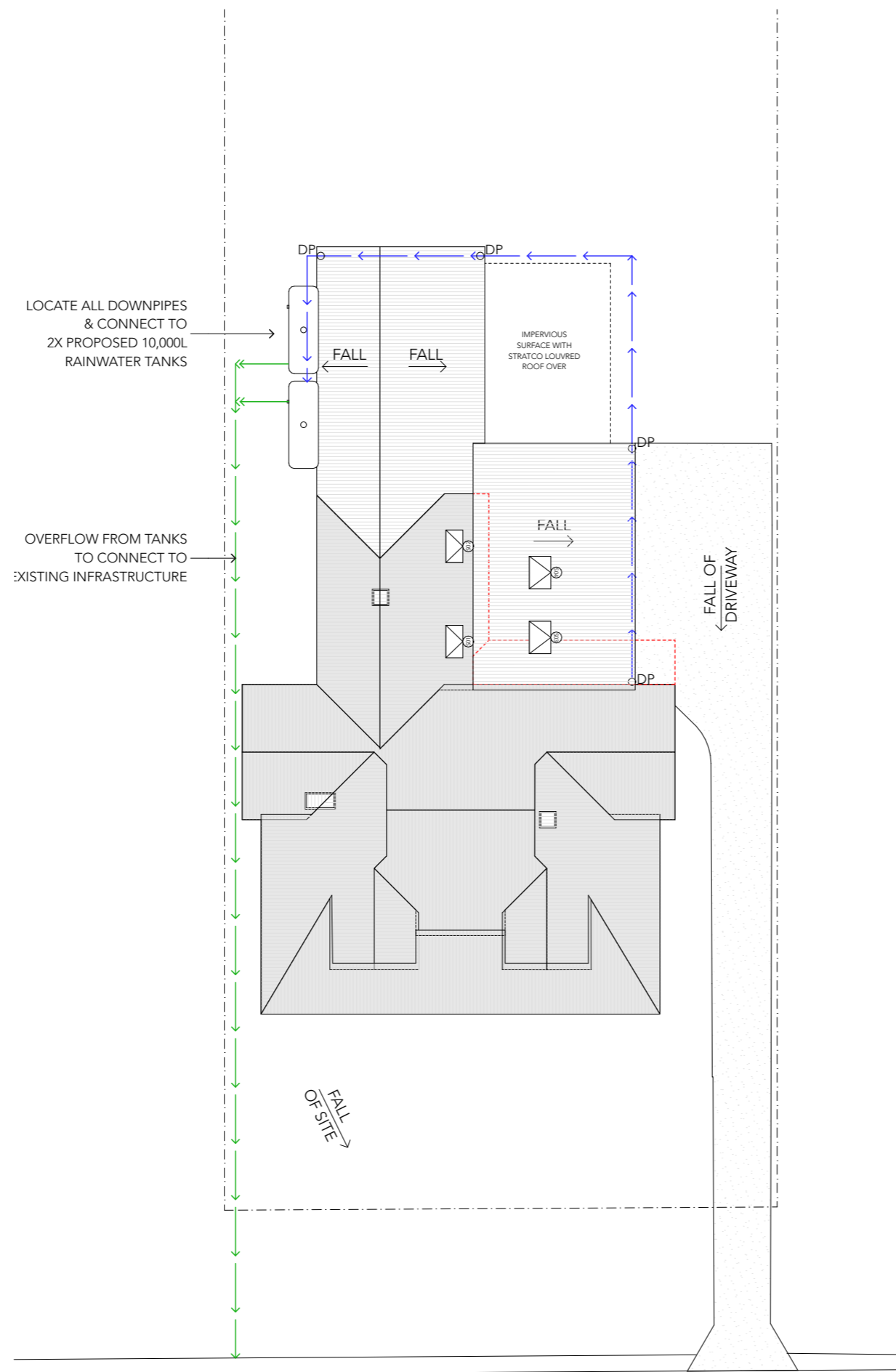
EROSION & SEDIMENT CONTROL PLAN 1:200

| LEGEND | |
|---------------------|------|
| WATER RE-USE LINE | |
| WATER OVERFLOW LINE | |
| DOWNPIPE | DP ○ |

| STORMWATER TREATMENT SUMMARY | |
|---------------------------------|-----------------------------------|
| SITE AREA: | 2023m ² |
| ROOF AREA: | 325.71m ² |
| OTHER HARDSTAND TREATMENT AREA: | 116.64m ² |
| TOTAL IMPERVIOUS AREA: | 442.35m ² |
| SITE DISCHARGE INDEX: | total imp. area/site area 21 % |
| RAINWATER TANK CAPACITY | 2X 10,000L |

NOTES:

- ALL DOWNPIPES SHOWN INDICATIVELY. LOCATIONS ON SITE MAY DIFFER FROM SHOWN. DISCREPANCIES TO BE NOTIFIED TO THE DESIGNER IMMEDIATELY.
- ALL STORMWATER WORK TO BE IN ACCORDANCE WITH AS 3500 AND ALL STATUTORY REQUIREMENTS.
- ALL WORK TO BE CARRIED OUT BY A LICENSED PLUMBER INSTALLATION AND CONNECTION OF RWT TO LOCAL CITY REGULATIONS.
- STORMWATER DETAILS TO COMPLY WITH THE CONDITIONS OF CONSENT



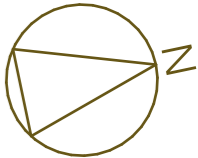
LORD STREET

STORMWATER DRAINAGE & ROOF LAYOUT

1:200

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www.yourhomedesigns.com.au



NOTES

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| FLOOR AREAS | |
|-------------|----------------------|
| ALFRESCO | 37.8 |
| CARPORT | 30.0 |
| EXISTING | 147.9 |
| EXTENSION | 66.0 |
| | 281.7 m ² |

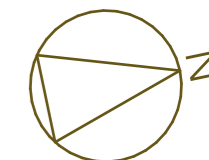
Client
CONNORS

Project Address
32 LORD ST,
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Drawing Title:
STORMWATER PLAN

| Rev. | Date | Designer |
|------|----------|----------|
| A1 | 27/10/23 | SR |
| A3 | 29/11/23 | SR |
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| | | |
|------------|----------|-----|
| Plot Date: | 22/3/24 | |
| Job Ref: | Page No: | Rev |
| YHD-721 | DA.4 | C1 |



CONFIRM BUILDING DIMENSIONS PRIOR TO AND DURING CONSTRUCTION

NOTE:
BUILDER TO CONFIRM LEVELS & DIMENSIONS PRIOR TO & DURING CONSTRUCTION. ANY DISCREPANCIES ARE TO BE NOTIFIED TO YHD IMMEDIATELY, PRIOR TO CONSTRUCTION. DO NOT SCALE FROM DRAWINGS
BOUNDARY INFORMATION SUPPLIED BY CLIENT/BUILDER/SURVEYOR. BUILDER TO CONFIRM ALL BOUNDARY INFORMATION PRIOR TO CONTRACTS AND/OR COMMENCEMENT OF WORK.
ALL STRUCTURAL STEEL SHOULD BE SITE MEASURED PRIOR TO FABRICATION
ALL SETBACKS TO COMPLY WITH LOCAL REQUIREMENTS UNLESS NOTED/APPROVED BY COUNCIL AUTHORITY.



EAST (FRONT) ELEVATION

1:100

NOTES
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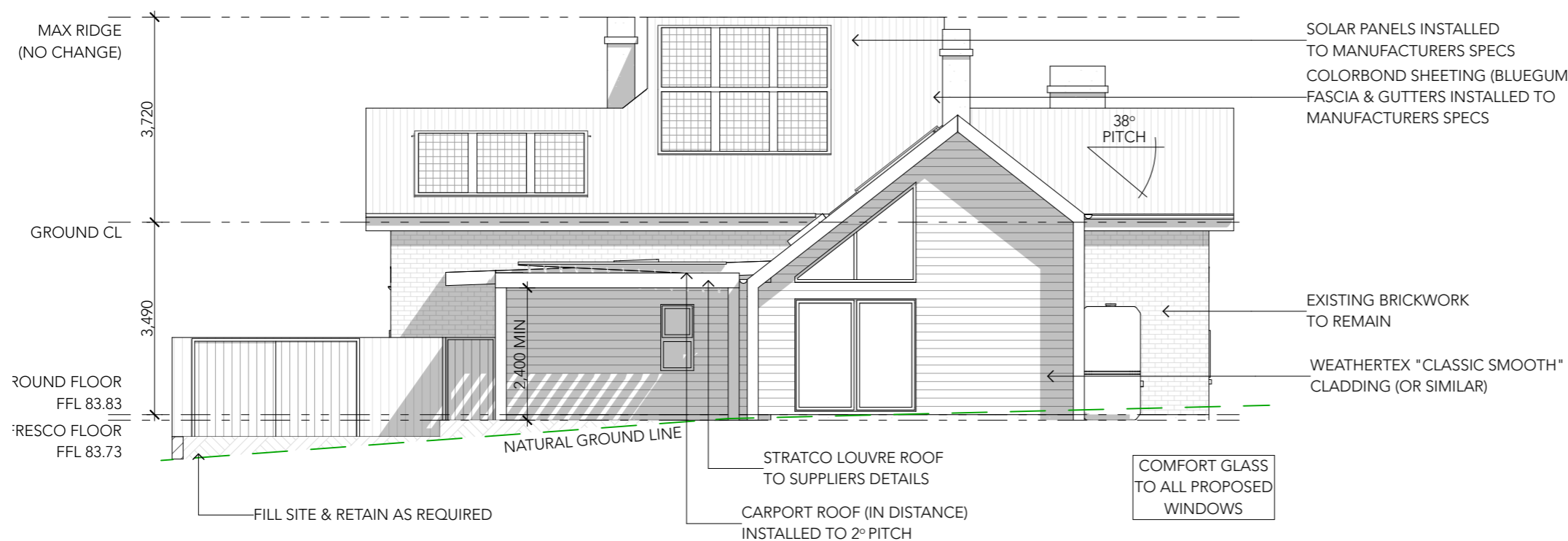
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CONNORS
Project Address
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LOT 16, 27, DP 758366

Drawing Title:
ELEVATIONS

| Rev. | Date | Designer |
|------|----------|----------|
| A1 | 27/10/23 | SR |
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| A4 | 21/02/24 | SR |
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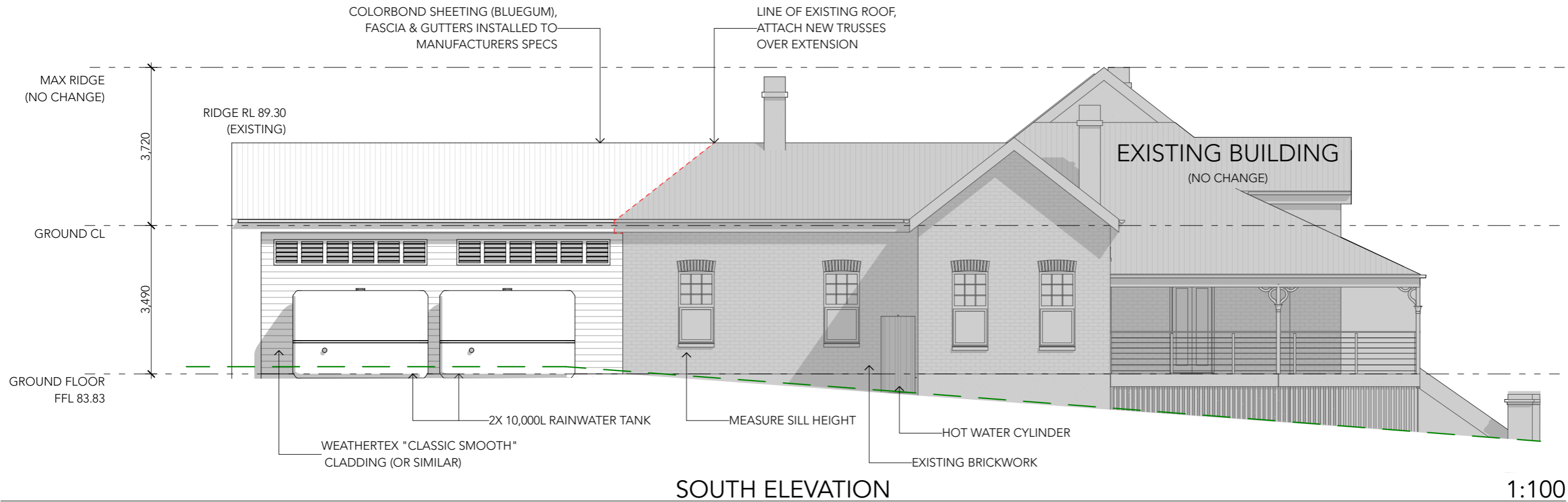
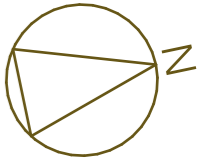
Plot Date: 22/3/24

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| YHD-721 | DA.7 | C1 |

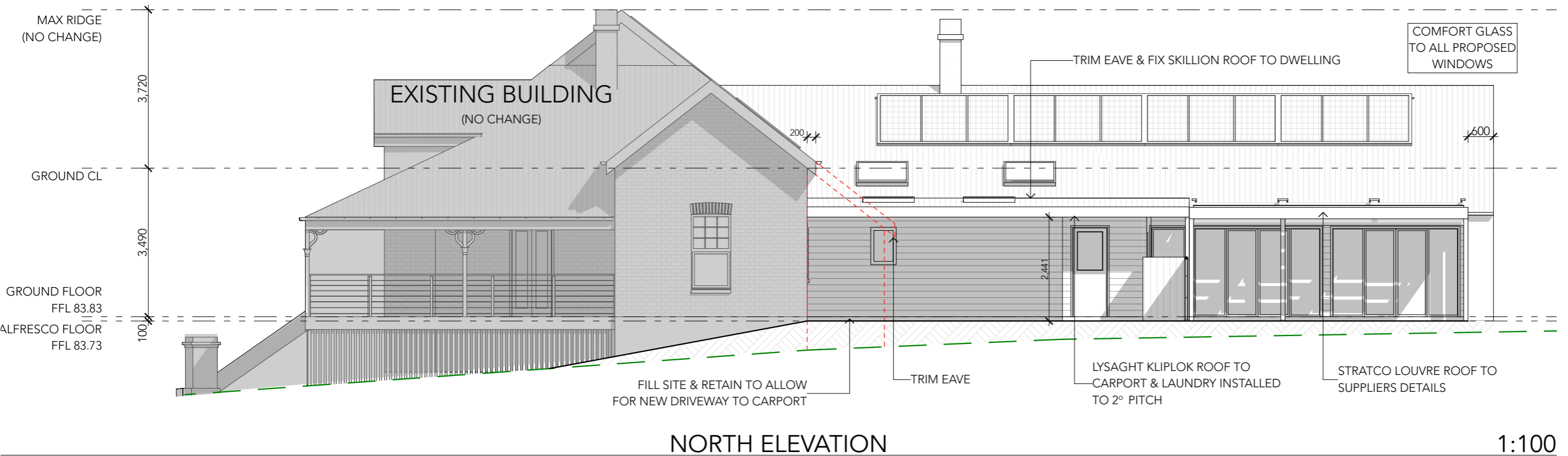


WEST (REAR) ELEVATION

1:100



NOTES
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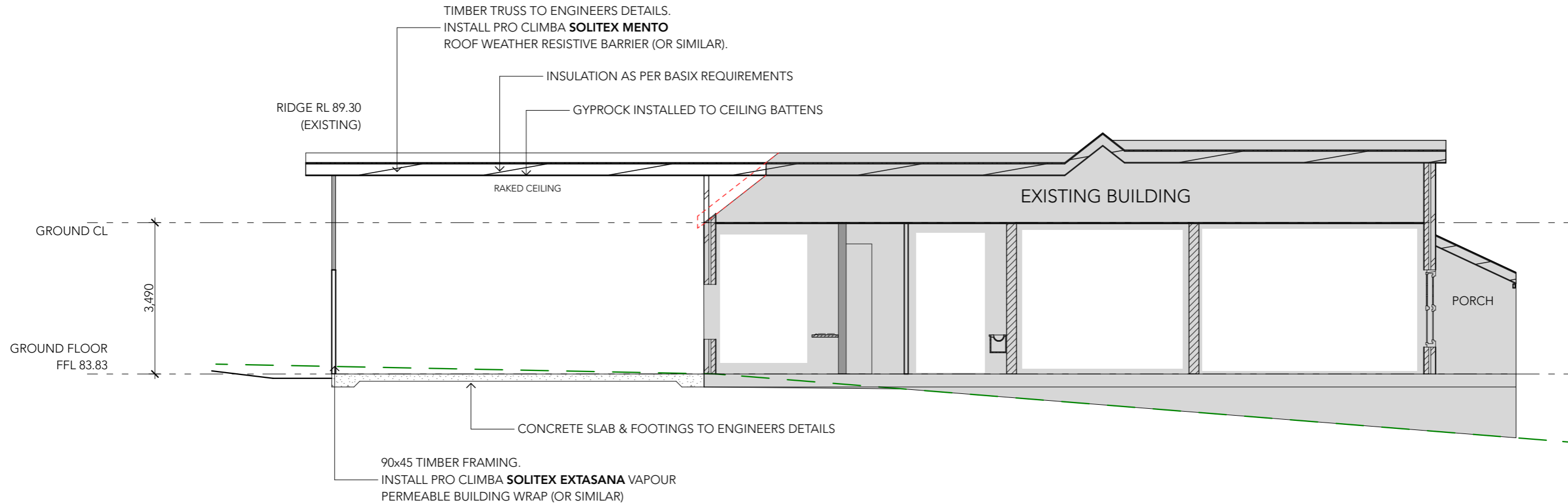
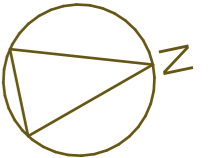
- CPD CUPBOARD
- DN DOWN
- DP DOWNPIPE
- DR DRYER
- DW DISHWASHER
- FG FRIDGE
- FFL FINISHED FLOOR LEVEL
- PTY PANTRY
- RL RELATIVE LEVEL
- S SINK
- SHW SHOWER
- T.O.W TOP OF WALL
- WC TOILET
- WIL WALK IN LINEN
- WM WASHING MACHINE

| FLOOR AREAS | |
|-------------|----------------------|
| ALFRESCO | 37.8 |
| CARPORT | 30.0 |
| EXISTING | 147.9 |
| EXTENSION | 66.0 |
| | 281.7 m ² |

Client
CONNORS
Project Address
32 LORD ST,
DUNGOG, 2420
LOT 16, 27, DP 758366

Drawing Title:
ELEVATIONS

| Rev. | Date | Designer |
|------|----------|----------|
| A1 | 27/10/23 | SR |
| A3 | 29/11/23 | SR |
| A4 | 21/02/24 | SR |
| B1 | 29/02/24 | SR |
| B2 | 14/03/24 | SR |
| C1 | 22/03/24 | SR |



SECTION A

1:100

NOTES
IF IN DOUBT, ASK.
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| | |
|-------|----------------------|
| CPD | CUPBOARD |
| DN | DOWN |
| DP | DOWNPIPE |
| DR | DRYER |
| DW | DISHWASHER |
| FG | FRIDGE |
| FFL | FINISHED FLOOR LEVEL |
| PTY | PANTRY |
| RL | RELATIVE LEVEL |
| S | SINK |
| SHW | SHOWER |
| T.O.W | TOP OF WALL |
| WC | TOILET |
| WIL | WALK IN LINEN |
| WM | WASHING MACHINE |

| FLOOR AREAS | |
|-------------|----------------------|
| ALFRESCO | 37.8 |
| CARPORT | 30.0 |
| EXISTING | 147.9 |
| EXTENSION | 66.0 |
| | 281.7 m ² |

CONFIRM BUILDING DIMENSIONS PRIOR TO AND DURING CONSTRUCTION

NOTE:
BUILDER TO CONFIRM LEVELS & DIMENSIONS PRIOR TO & DURING CONSTRUCTION. ANY DISCREPANCIES ARE TO BE NOTIFIED TO YHD IMMEDIATELY, PRIOR TO CONSTRUCTION. DO NOT SCALE FROM DRAWINGS
BOUNDARY INFORMATION SUPPLIED BY CLIENT/BUILDER/SURVEYOR. BUILDER TO CONFIRM ALL BOUNDARY INFORMATION PRIOR TO CONTRACTS AND/OR COMMENCEMENT OF WORK.
ALL STRUCTURAL STEEL SHOULD BE SITE MEASURED PRIOR TO FABRICATION
ALL SETBACKS TO COMPLY WITH LOCAL REQUIREMENTS UNLESS NOTED/APPROVED BY COUNCIL AUTHORITY.

SECTION NOTES:
- ALL TIMBER BEAMS & POSTS EXPOSED TO OUTSIDE ELEMENTS ARE TO BE TREATED PINE OF APPROPRIATE GRADE OR SUITABILITY OF TIMBER WITH A HIGH RESISTANCE TO TERMITES, SEALED & FINISHED CORRECTLY. CHECK LOCAL AUTHORITIES STANDARD OF PRACTICE.
- PRE-FABRICATED FRAME TO MANUFACTURERS SPECIFICATION AND IN ACCORDANCE WITH AS 1684 (NATIONAL TIMBER FRAMING CODE), ALSO BRACED TO CORRECT WIND RATING IN ACCORDANCE WITH AS 4055 (WIND LOADS FOR HOUSING). BUILDER TO DETERMINE WIND RATING.
- INSTALLATION OF WET AREA WATERPROOFING WHERE MOISTURE/WATER ARE CONCERNED INCLUDING ROOF/SHOWER/CONCRETE SLAB IN CONSTRUCTION OF THIS DWELLING ARE TO BE SUITABLY FLASHED AND TREATED IN ACCORDANCE WITH AS 3740 AND RELEVANT STANDARDS.
- ALL TREATMENT IN ACCORDANCE WITH AS 3660.1 NEW BUILDING WORK.
- ALL BEAMS TO PITCHING POINTS e.g BULKHEADS TO FRAMING MANUFACTURERS SPECIFICATION.

GENERAL NOTES
IT IS THE SOLE RESPONSIBILITY OF THE BUILDER TO ENSURE COMPLIANCE WITH THE RELEVANT AUSTRALIAN STANDARDS, AUTHORITIES CODES & THE BCA.
TERMITE TREATMENT TO COMPLY WITH AUSTRALIAN STANDARD 3660.1, BCA & RELEVANT LOCAL AUTHORITIES CODES - WHERE PHYSICAL BARRIERS CANNOT BE USED, A SUITABLE CHEMICAL BARRIER IS TO BE EMPLOYED. IF ENGINEERED FLOOR SLAB SYSTEM (AS2870) IS USED, SEAL PENETRATIONS WITH APPROVED COLLARS. HAND SPRAY REQUIRED UNDER MAIN FLOOR SLAB - REFER BUILDING CERTIFIER FOR DETAILED PROCEDURES.
ALL HANDRAILS & BALUSTRADES TO COMPLY WITH THE BCA & RELEVANT AUSTRALIAN STANDARDS.
WHERE ITEMS ARE REQUIRED FOR GOOD BUILDING PRACTICE, BUT NOT INCLUDED WITH SPECIFICATIONS OR DRAWINGS NOT REFERENCED IN EITHER, CONTRACTOR TO INCLUDE.
IT IS THE SOLE RESPONSIBILITY OF THE BUILDER TO PHYSICALLY LOCATE THE EXTENT OF EXISTING SERVICES AND ONSITE FEATURES BOTH ABOVE AND BELOW THE GROUND AND NOTIFY PROPRIETOR OF ANY CLASH WITH PROPOSED WORKS PRIOR TO CONSTRUCTION.
ALL FLOOR AREAS SHOWN ARE INDICATIVE AND MAY BE SUBJECT TO CHANGE DUE TO CONSTRUCTION TOLERANCES.
ALL CONTRACTORS ARE TO CHECK DRAWINGS AND NOTIFY AUTHOR OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
CONTRACTOR TO PREPARE ADDITIONAL CONSTRUCTION DRAWINGS AND DETAILS AS DEEMED NECESSARY - OR TO NOTIFY DESIGNER OR ENGINEER PRIOR TO COMMENCING WORKS.
PLANS ARE COPYRIGHT TO THE OWNER (YOUR HOME DESIGNS) AND CANNOT BE REPRODUCED IN WHOLE OR IN PART BY ANY MEDIUM WITHOUT THE WRITTEN PERMISSION.

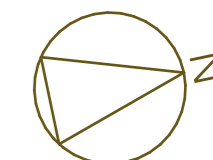
Client
CONNORS
Project Address
32 LORD ST,
DUNGOG, 2420
LOT 16, 27, DP 758366

Drawing Title:
SECTION

| Rev. | Date | Designer |
|------|----------|----------|
| A1 | 27/10/23 | SR |
| A3 | 29/11/23 | SR |
| A4 | 21/02/24 | SR |
| B1 | 29/02/24 | SR |
| B2 | 14/03/24 | SR |
| C1 | 22/03/24 | SR |

Plot Date: 22/3/24

| | | |
|----------|----------|-----|
| Job Ref: | Page No: | Rev |
| YHD-721 | DA.9 | C1 |



| WINDOW SCHEDULE | | | | | |
|-----------------|---------|---------|-------|-------|-------------|
| ID | W01 | W02 | W03 | W04 | W05 |
| HEIGHT | 600 | 600 | 2,040 | 1,819 | 1,200 |
| WIDTH | 3,600 | 3,600 | 2,200 | 2,200 | 600 |
| QUANTITY | 1 | 1 | 1 | 1 | 1 |
| TYPE | LOUVRES | LOUVRES | FIXED | FIXED | DOUBLE HUNG |
| ELEVATION | | | | | |

| SKYLIGHT SCHEDULE | | | | |
|-------------------|-----------|-----------|-----------|-----------|
| ID | S01 | S02 | S03 | S04 |
| SIZE | 1,180x780 | 1,180x780 | 1,180x780 | 1,180x780 |
| QUANTITY | 1 | 1 | 1 | 1 |
| TYPE | FIXED | FIXED | FIXED | FIXED |
| ELEVATION | | | | |

| DOOR SCHEDULE | | | | | | | | |
|---------------|-------------|--------------------|---------------------|---------------------|-------------|-------------|--------------------|----------|
| ID | D01 | D02 | D03 | D04 | D05 | D06 | D07 | D08 |
| HEIGHT | 2,100 | 2,100 | 2,100 | 2,100 | 2,040 | 2,040 | 2,340 | 2,040 |
| WIDTH | 820 | 820 | 3,000 | 3,000 | 820 | 820 | 920 | 2,000 |
| QUANTITY | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| TYPE | HUNG (EXT.) | GLAZED HUNG (EXT.) | GLAZED FRENCH DOORS | GLAZED FRENCH DOORS | HUNG (INT.) | HUNG (INT.) | GLAZED HUNG (INT.) | WARDROBE |
| ELEVATION | | | | | | | | |

COMFORT GLASS
TO ALL PROPOSED
WINDOWS

NOTES
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CPD CLIPBOARD
DN DOWN
DP DOWNPIPE
DR DRYER
DW DISHWASHER
FG FRIDGE
FFL FINISHED FLOOR LEVEL
PTY PANTRY
RL RELATIVE LEVEL
S SINK
SHW SHOWER
T.O.W TOP OF WALL
WC TOILET
WIL WALK IN LINEN
WM WASHING MACHINE

| FLOOR AREAS | |
|-------------|----------------------|
| ALFRESCO | 37.8 |
| CARPORT | 30.0 |
| EXISTING | 147.9 |
| EXTENSION | 66.0 |
| | 281.7 m ² |

Client
CONNORS
Project Address
32 LORD ST,
DUNOGG, 2420
LOT 16, 27, DP 758366

Drawing Title:
SCHEDULES

| Rev. | Date | Designer |
|------|----------|----------|
| A1 | 27/10/23 | SR |
| A3 | 29/11/23 | SR |
| A4 | 21/02/24 | SR |
| B1 | 29/02/24 | SR |
| B2 | 14/03/24 | SR |
| C1 | 22/03/24 | SR |

Plot Date: 22/3/24

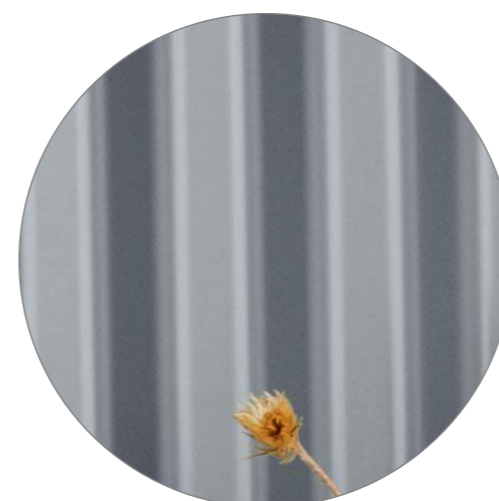
| Job Ref: | Page No: | Rev |
|----------|----------|-----|
| YHD-721 | DA.10 | C1 |



EXISTING BRICKWORK



WEATHERTEX "CLASSIC SMOOTH"
CLADDING (OR SIMILAR)

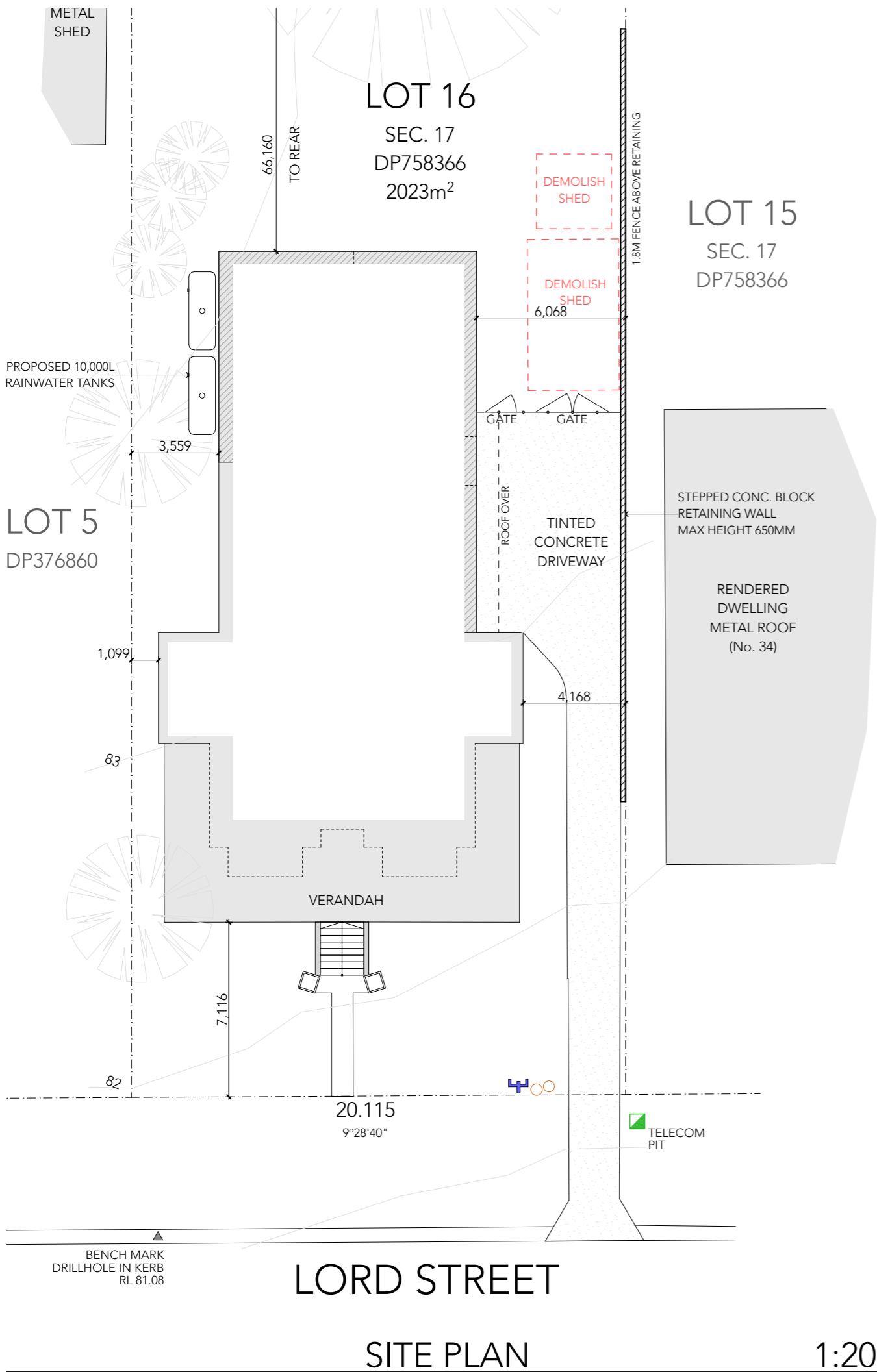
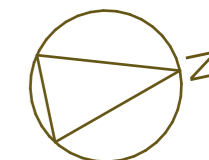


"BLUE GUM" COLORBOND
ROOF SHEETING



"STRATCO" LOUVRED ROOF

COLOURS & MATERIALS SCHEDULE

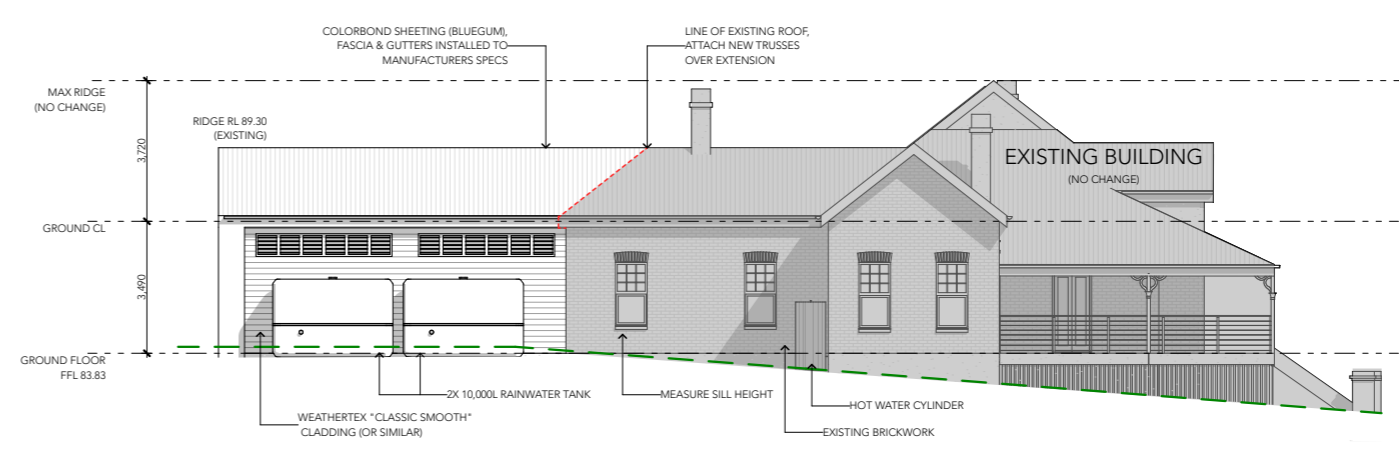


LORD STREET
SITE PLAN

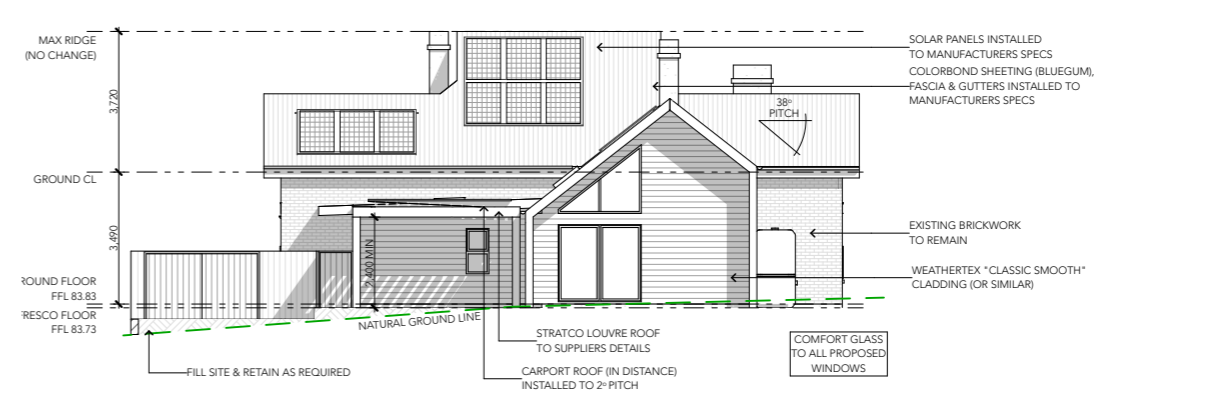
1:200



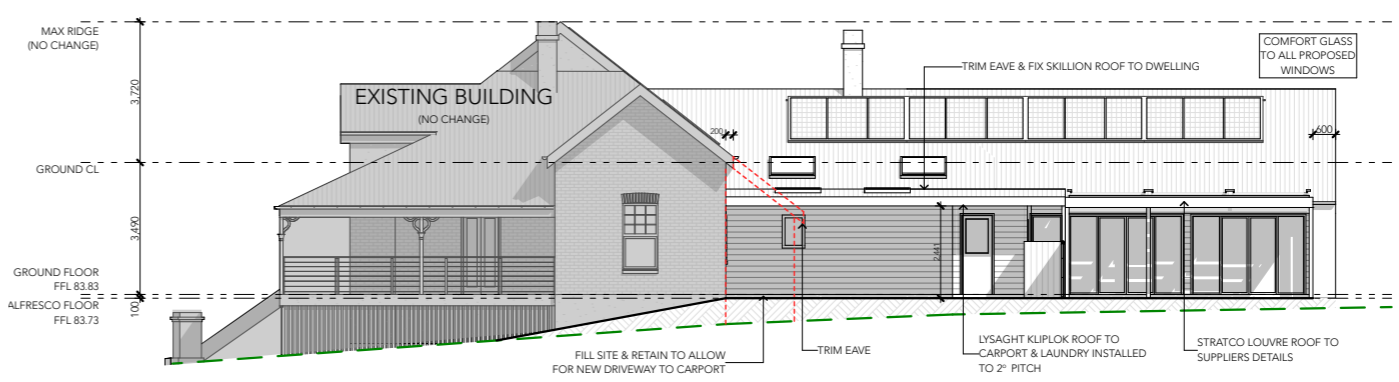
EAST (FRONT) ELEVATION 1:200



SOUTH ELEVATION 1:200



WEST (REAR) ELEVATION 1:200



NORTH ELEVATION 1:200

NOTES
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| FLOOR AREAS | |
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| CARPORT | 30.0 |
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| EXTENSION | 66.0 |
| | 281.7 m² |

Client
CONNORS
Project Address
**32 LORD ST,
DUNGOG, 2420
LOT 16, 27, DP 758366**

Drawing Title:
NOTIFICATION PLAN

| Rev. | Date | Designer |
|------|----------|----------|
| A1 | 27/10/23 | SR |
| A3 | 29/11/23 | SR |
| A4 | 21/02/24 | SR |
| B1 | 29/02/24 | SR |
| B2 | 14/03/24 | SR |
| C1 | 22/03/24 | SR |

| | |
|------------|----------|
| Plot Date: | 22/3/24 |
| Job Ref: | Page No: |
| YHD-721 | DA.11 |
| | Rev |
| | C1 |

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A1740945

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Friday, 22 March 2024

To be valid, this certificate must be lodged within 3 months of the date of issue.



| Project address | |
|--|---|
| Project name | Connors |
| Street address | 32 LORD Street DUNGOG 2420 |
| Local Government Area | Dungog Shire Council |
| Plan type and number | Deposited Plan DP758366 |
| Lot number | 16 |
| Section number | 27 |
| Project type | |
| Dwelling type | Separate dwelling house |
| Type of alteration and addition | My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa). |
| N/A | N/A |
| Certificate Prepared by (please complete before submitting to Council or PCA) | |
| Name / Company Name: YOUR HOME DESIGNS PTY LTD | |
| ABN (if applicable): 15631053828 | |

| Fixtures and systems | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|--|------------------|------------------------------|-----------------|
| Lighting | | | |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. | | ✓ | ✓ |
| Fixtures | | | |
| The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. | | ✓ | ✓ |
| The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. | | ✓ | ✓ |
| The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating. | | ✓ | |

| Construction | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check | | | | | | | | | | | | |
|--|--|---|------------------|--|----------------------|--------------------------------|-----|-----|---|---|--|--|---|---|--|--|--|
| Insulation requirements | | | | | | | | | | | | | | | | | |
| <p>The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.</p> | | | ✔ | ✔ | ✔ | | | | | | | | | | | | |
| <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="background-color: #808080; color: white;">Construction</th> <th style="background-color: #808080; color: white;">Additional insulation required (R-value)</th> <th style="background-color: #808080; color: white;">Other specifications</th> </tr> </thead> <tbody> <tr> <td>concrete slab on ground floor.</td> <td>nil</td> <td>N/A</td> </tr> <tr> <td>external wall: framed (weatherboard, fibro, metal clad)</td> <td>R1.30 (or R1.70 including construction)</td> <td></td> </tr> <tr> <td>raked ceiling, pitched/skillion roof: framed</td> <td>ceiling: R2.50 (up), roof: foil/sarking</td> <td>medium (solar absorptance 0.475 - 0.70)</td> </tr> </tbody> </table> | | | Construction | Additional insulation required (R-value) | Other specifications | concrete slab on ground floor. | nil | N/A | external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | | raked ceiling, pitched/skillion roof: framed | ceiling: R2.50 (up), roof: foil/sarking | medium (solar absorptance 0.475 - 0.70) | | | |
| Construction | Additional insulation required (R-value) | Other specifications | | | | | | | | | | | | | | | |
| concrete slab on ground floor. | nil | N/A | | | | | | | | | | | | | | | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | | | | | | | | | | | | | | | | |
| raked ceiling, pitched/skillion roof: framed | ceiling: R2.50 (up), roof: foil/sarking | medium (solar absorptance 0.475 - 0.70) | | | | | | | | | | | | | | | |

| Glazing requirements | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|------------------|------------------------------|-----------------|
| Windows and glazed doors | | | |
| The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. | ✓ | ✓ | ✓ |
| The following requirements must also be satisfied in relation to each window and glazed door: | | ✓ | ✓ |
| Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. | | ✓ | ✓ |
| For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. | ✓ | ✓ | ✓ |
| Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. | | ✓ | ✓ |
| Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm. | | ✓ | ✓ |
| Pergolas with adjustable shading may have adjustable blades or removable shade cloth (not less than 80% shading ratio). Adjustable blades must overlap in plan view. | | ✓ | ✓ |
| Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below. | ✓ | ✓ | ✓ |


| Glazing requirements | | | | | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|--|-------------|------------------------------------|--------------------------|----------------------------|-------------------------------------|--|------------------|------------------------------|-----------------|
| Windows and glazed doors glazing requirements | | | | | | | | | |
| Window/door number | Orientation | Area of glass including frame (m2) | Overshadowing height (m) | Overshadowing distance (m) | Shading device | Frame and glass type | | | |
| D3 | N | 6.12 | 0 | 0 | pergola (adjustable shade) >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| D4 | N | 6.12 | 0 | 0 | pergola (adjustable shade) >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| D2 | N | 1.67 | 0 | 0 | pergola (adjustable shade) >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W1 | S | 2.16 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W2 | S | 2.16 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |


| Glazing requirements | | | | | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|----------------------|-------------|------------------------------------|--------------------------|----------------------------|---|---|------------------|------------------------------|-----------------|
| Window/door number | Orientation | Area of glass including frame (m2) | Overshadowing height (m) | Overshadowing distance (m) | Shading device | Frame and glass type | | | |
| W3 | W | 4.48 | 13 | 5 | eave/ verandah/ pergola/balcony >=600 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W4 | W | 1.98 | 13 | 5 | eave/ verandah/ pergola/balcony >=600 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W5 | W | 0.72 | 13 | 12 | pergola (adjustable shade) >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |


| Glazing requirements | | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|---------------------------------|----------------|---|------------------|------------------------------|-----------------|
| Skylights | | | | | | |
| The applicant must install the skylights in accordance with the specifications listed in the table below. | | | | ✓ | ✓ | ✓ |
| The following requirements must also be satisfied in relation to each skylight: | | | | | ✓ | ✓ |
| Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. | | | | | ✓ | ✓ |
| Skylights glazing requirements | | | | | | |
| Skylight number | Area of glazing inc. frame (m2) | Shading device | Frame and glass type | | | |
| S1 | 0.92 | no shading | timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5) | | | |
| S2 | 0.92 | no shading | timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5) | | | |

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a  in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

YOUR HOME DESIGNS

HERITAGE STATEMENT

LOCATION **Lot: 16, Sec: 27, DP: 58366**
32 Lord Street, Dungog

DETAILS **Development Application**
Alteration and Extension to Existing Dwelling
Retaining wall

The subject site is within the Dungog Urban Conservation Area adopted by the National Trust of Australia on 24th August 1981 and incorporated in the Dungog Local Environmental Plan 2014.

Objectives of 5.10 - Heritage Conservation - Dungog Shire LEP (2014)

(1) Objectives The objectives of this clause are as follows—

- (a) to conserve the environmental heritage of Dungog,
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,
- (c) to conserve archaeological sites,
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.

As outlined in section 5.10 (2), consent is required for development for land that is located within a heritage conservation area.

Objectives of Part C.17 - Heritage - Dungog Shire DCP

The aims of this plan are:

- (a) to support the objectives of Dungog Shire Council's environmental planning instruments

YOUR HOME DESIGNS

(b) to have regard for and to give effect within the Shire of Dungog to the principles enunciated in the Burra Charter (Australia ICOMOS, Canberra, 1999)

(c) to have regard for and to give effect to the recommendations of the 1988 Dungog Shire Heritage Study and of the 1995 Dungog Main Street Heritage Study.

(d) to enable the protection of buildings, works, archaeological sites, trees or places which are commonly known to have heritage significance but which are not described or shown within an environmental planning instrument.

(e) to explain matters which must be considered by a consent authority when determining development applications under s79C of the Environmental Planning and Assessment Act 1979 (as amended)

(f) to give guidance to applicants on matters which are to be considered by the consent authority in determining applications for development

Proposal

The proposal is to construct an extension to the rear of the dwelling to allow for a more functional and modern home for the occupants. From a streetscape perspective, the form and materials of the existing dwelling are not to be amended and therefore the proposed development will not adversely affect the heritage significance of the conservation area of the amenity or the surrounding area. The proposed development is to consist of a modern architectural design utilising large spans of window area and weatherboard cladding and is to tie under the existing roof line (to be extended over the extension). The new works are to be sympathetic to the older building elements while providing for an aesthetic and comfortable living environment for the occupants.

The proposed alteration and extension takes into consideration the principles enunciated in the Burra Charter (Australia ICOMOS, Canberra, 1999) and the findings and recommendations of the 1988 Dungog Shire Heritage Study and of the 1995 Dungog Main Street Heritage Study.

The proposal does not seek to amend or demolish any existing heritage listing buildings, archaeological sites, trees or places. The subject site is located within a Heritage Conservation Zone.

Innovative and modern alterations and extensions are permissible under section C.17 of the Dungog DCP (Advisory Note No.2) provided they sympathetically tie into the existing dwelling. The roof form (including pitch, eaves and roofing material) are to remain consistent with what currently exists and new development is to consist of weatherboard cladding, sympathetically contrasting the existing brickwork. The roof has recently been replaced under approval from Dungog Shire Council to be sheeted in Colorbond (Bluegum).

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Figure 1: Existing dwelling

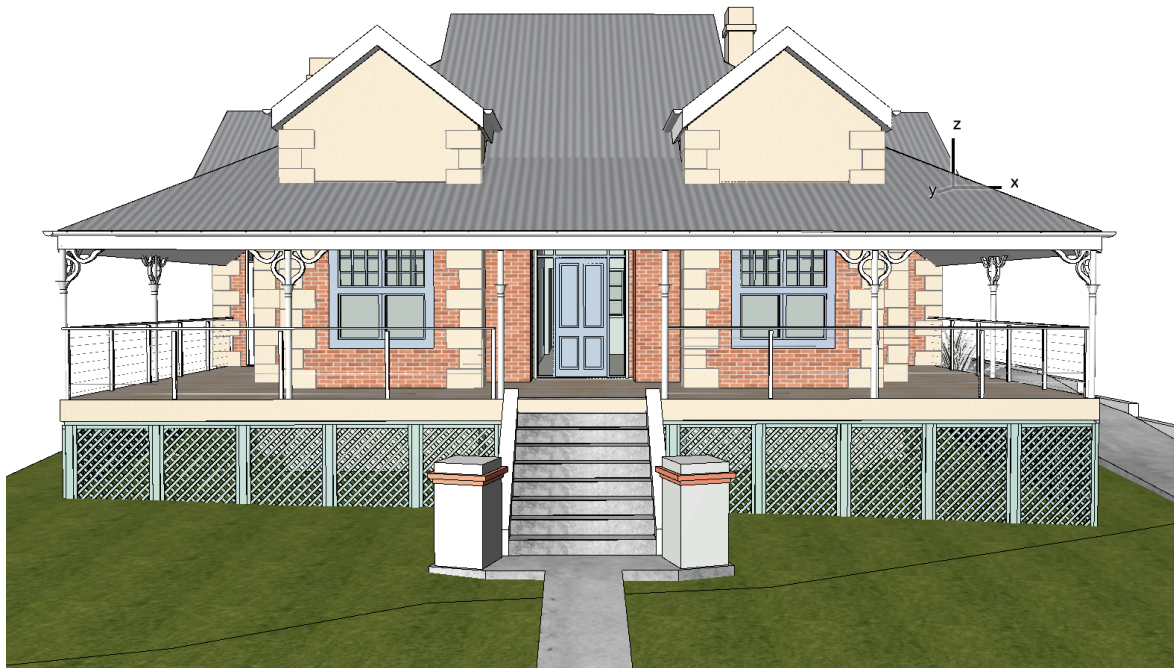


Figure 2: Facade of dwelling after proposed alterations and extension -no changes proposed to facade. (Source: Your Home Designs)

YOUR HOME DESIGNS



Figure 3: Side perspective of dwelling after proposed alterations and extensions (Source: Your Home Designs)



Figure 4: Rear perspective of dwelling after proposed alterations and extensions (Source: Your Home Designs)

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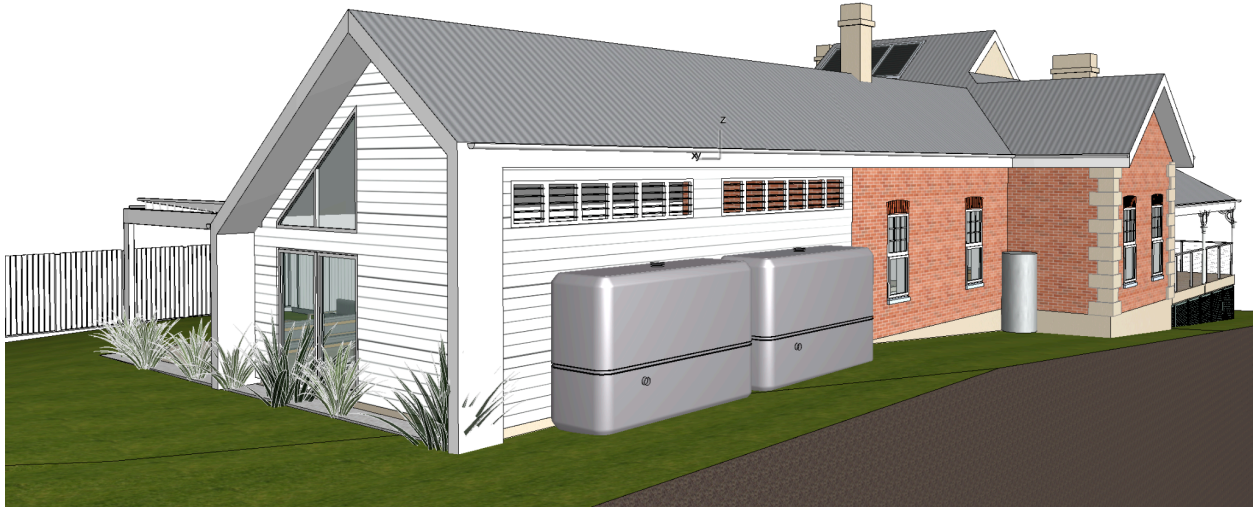


Figure 5: Side perspective of dwelling after proposed alterations and extensions (Source: Your Home Designs)

Conclusion

The proposal is for the alteration and extension of the existing dwelling. It is of a standard residential nature and is of a style that complements the existing residences on the site, the neighbouring developments and the heritage of the local area. The design addresses the nature of the lots, the characteristics of the site and has been designed carefully to take all environmental impacts into consideration. The proposal is considered consistent with the zone objectives, and compliant with the development controls applicable. The above statement reveals no significant environmental or planning constraints likely to inhibit the approval of this development.

Kind Regards,

Samantha Richards
YHD | Your Home Designs
0407 749 380

DEVELOPMENT SUMMARY & SITE ANALYSIS

SITE CONDITIONS

| | |
|----------------------|---|
| ZONING | R1 - GENERAL RESIDENTIAL |
| ACID SULFATE SOILS | N/A |
| BUSHFIRE PRONE (BAL) | N/A |
| FLOOD PRONE | N/A |
| MINES SUBSIDENCE | N/A |
| HERITAGE | DUNOG RESIDENTIAL PRECINCT SIGNIFICANCE - LOCAL |

COUNCIL CALCULATIONS

| | |
|-------------------------|----------------------|
| MIN LOT SIZE | 400m ² |
| MAX HEIGHT OF BUILDING | 8.5m |
| FLOOR SPACE RATIO | 0.10 : 1 |
| TOTAL GROSS FLOOR SPACE | 213.90m ² |
| SITE AREA | 2023m ² |
| BUILDING FOOTPRINT | 335.19m ² |
| ROOF AREA | 325.71m ² |
| DRIVEWAY AREA | 86.74m ² |
| CAR PARKING SPACES | 2 |
| PRIVATE OPEN SPACES | 50m ² |
| LANDSCAPED AREA | 1,600m ² |

BASIX SUMMARY

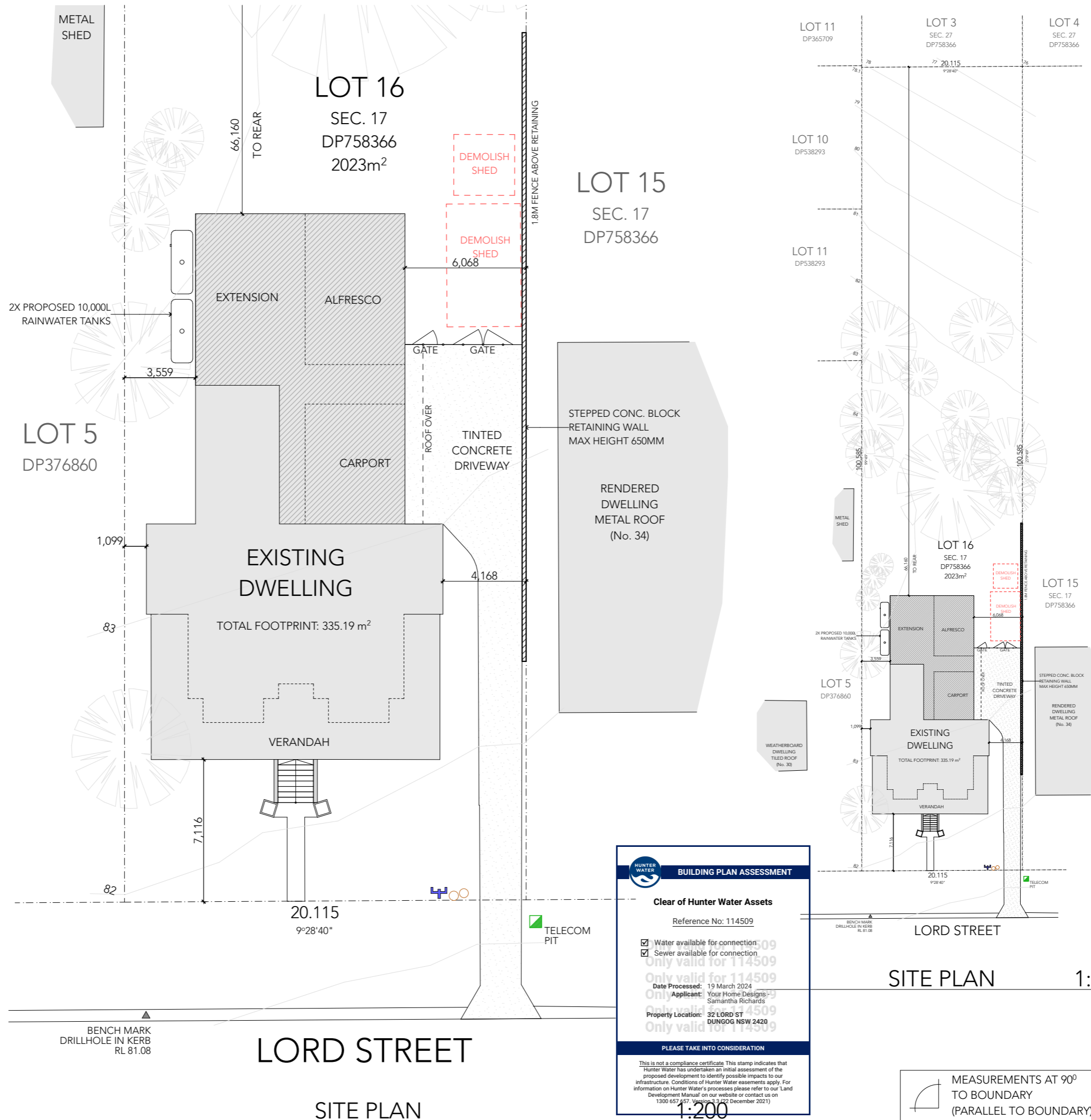
| | |
|---------------------|----------------------|
| EXISTING FLOOR AREA | 147.90m ² |
| PROPOSED FLOOR AREA | 213.90m ² |

SURVEY BY OTHERS

NOTES:
SETBACKS ARE APPROXIMATES ONLY & BASED OFF CURRENT SURVEYORS DOCUMENTATION AT THE TIME OF BEING ISSUED TO THE DESIGNER WITH THE CONCEPT DESIGNS.
ALL SITE BOUNDARIES ARE TO BE CONFIRMED BY THE SURVEYOR PRIOR TO & DURING CONSTRUCTION
ANY SITE/SURVEY DISCREPANCIES ARE TO BE NOTIFIED TO YHD IMMEDIATELY, PRIOR TO CONSTRUCTION.

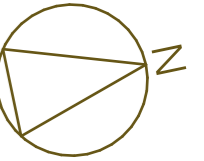
CONFIRM BUILDING DIMENSIONS PRIOR TO AND DURING CONSTRUCTION

NOTE:
 BUILDER TO CONFIRM LEVELS & DIMENSIONS PRIOR TO & DURING CONSTRUCTION. ANY DISCREPANCIES ARE TO BE NOTIFIED TO YHD IMMEDIATELY, PRIOR TO CONSTRUCTION.
 DO NOT SCALE FROM DRAWINGS
 BOUNDARY INFORMATION SUPPLIED BY CLIENT/BUILDER/SURVEYOR. BUILDER TO CONFIRM ALL BOUNDARY INFORMATION PRIOR TO CONTRACTS AND/OR COMMENCEMENT OF WORK.
ALL STRUCTURAL STEEL SHOULD BE SITE MEASURED PRIOR TO FABRICATION
 ALL SETBACKS TO COMPLY WITH LOCAL REQUIREMENTS UNLESS NOTED/APPROVED BY COUNCIL AUTHORITY.



YOUR HOME DESIGNS

design@yourhomedesigns.com.au
 0407 749 380
 www.yourhomedesigns.com.au



PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION

NOTES

IF IN DOUBT, ASK BUILDER SHOULD CHECK ALL DIMENSIONS & LEVELS ON SITE PRIOR TO CONSTRUCTION. PLEASE NOTIFY ANY ERRORS, DISCREPANCIES OR OMISSIONS TO THE DESIGNER. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNTIL FINAL ISSUE HAS BEEN RELEASED & CERTIFIED BY A STRUCTURAL ENGINEER. DO NOT SCALE DRAWINGS. ALL BOUNDARIES, SETOUTS & CONTOURS ARE SUBJECT TO SURVEY. ALWAYS CHECK & CONFIRM ON SITE PRIOR TO CONSTRUCTION.

| | |
|-------|----------------------|
| CPD | CUPBOARD |
| DN | DOWN |
| DP | DOWNPIPE |
| DR | DRYER |
| DW | DISHWASHER |
| FG | FRIDGE |
| FFL | FINISHED FLOOR LEVEL |
| PTY | PANTRY |
| RL | RELATIVE LEVEL |
| S | SINK |
| SHW | SHOWER |
| T.O.W | TOP OF WALL |
| WC | TOILET |
| WIL | WALK IN LINEN |
| WM | WASHING MACHINE |

| FLOOR AREAS | |
|--------------|----------------------------|
| ALFRESCO | 37.8 |
| CARPORT | 30.0 |
| EXISTING | 147.9 |
| EXTENSION | 66.0 |
| TOTAL | 281.7 m² |

Client
CONNORS
 Project Address
 32 LORD ST,
 DUNOG, 2420
 LOT 16, 27, DP 758366

Drawing Title:
SITE PLAN

SITE PLAN 1:500

| Rev. | Date | Designer |
|------|----------|----------|
| A1 | 27/10/23 | SR |
| A2 | 21/11/23 | SR |
| A3 | 29/11/23 | SR |
| A4 | 21/02/24 | SR |
| B1 | 29/02/24 | SR |
| B2 | 14/03/24 | SR |

Plot Date: 14/3/2024

| | | |
|----------|----------|-----|
| Job Ref: | Page No: | Rev |
| YHD-721 | DA.2 | B2 |

HUNTER WATER BUILDING PLAN ASSESSMENT

Clear of Hunter Water Assets

Reference No: 114509

Water available for connection

Sewer available for connection

Only valid for 114509

Date Processed: 19 March 2024

Applicant: Your Home Designs - Samantha Richards

Only valid for 114509

Property Location: 32 LORD ST DUNOG NSW 2420

Only valid for 114509

PLEASE TAKE INTO CONSIDERATION

This is not a compliance certificate. This stamp indicates that Hunter Water has undertaken an initial assessment of the proposed development to identify possible impacts to our infrastructure. Conditions of Hunter Water easements apply. For information on Hunter Water's processes please refer to our Land Development Manual on our website or contact us on 1300 657 457. Version 3.3 (22 December 2021)

1:200

MEASUREMENTS AT 90° TO BOUNDARY (PARALLEL TO BOUNDARY)

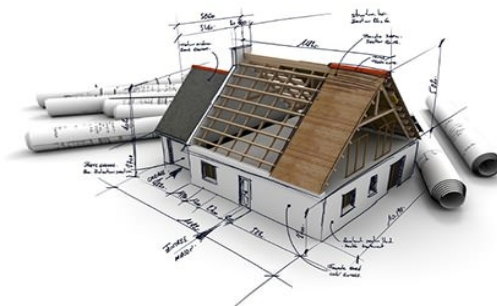


DUNGOG SHIRE COUNCIL

Dungog Shire Council
 198 Dowling Street
 PO Box 95
 DUNGOG NSW 2420

Telephone: (02) 4995 7777
 Facsimile: (02) 4995 7750
 Email: shirecouncil@dungog.nsw.gov.au
 Website: www.dungog.nsw.gov.au

STATEMENT OF ENVIRONMENTAL EFFECTS



New Homes & Home additions

To assist Council in fully assessing your development application in accordance with legislative requirements it is necessary for you to provide comments or advice for the following questions. These relate to common matters which need to be addressed to mitigate potential impacts resulting from your proposed development.

1. Does the proposal comply with Council Building Line Setback?

SETBACK REQUIREMENTS

(Dungog Council's Shire Wide Development Control Plan No 1 (DCP) Part C 3)

| Zone | Front Property Boundary Setback | | Side & Rear Setback | Side & Rear Setback Second road frontage corner block |
|--|---------------------------------|-------------------|---|---|
| | Main Road | Unclassified Road | | |
| R5 - Large Lot Residential & E4 - Environmental Living | 70m | 30m | 10m | 10m |
| NOTE - 15m from new roads within a R5 Large Lot Residential zoned subdivisions. | | | | |
| RU1 - Primary Production | 140m | 50m | 50m (lots >60ha) 40m (lots 30 – 60ha) 30m (Lots <30ha) | 50m (lots >60ha) 40m (lots 30 – 60ha) 30m (Lots <30ha) |
| R1 General Residential & RU5 - Village | | | | |
| Single Storey | 6m | | 900mm | 3m |
| Double Storey | 7.6m | | 1500mm | |

NOTE - Additional requirements apply for Count Street & Boulton Drive, Paterson see Dungog Council DCP Part D. May also apply for specific new subdivisions, see Council for further information if required.

Proposed setbacks:

a) Proposed setback _____ metres. Front Property Boundary Setback complies?

Yes No Existing setback 7.116 m if applicable.

b) Proposed setback _____ metres. Side & Rear Setback complies?

Yes No Existing setback 1.099 m if applicable.

c) Proposed setback _____ metres. Side & Rear Setback complies?

Yes No Existing setback 4.168 m if applicable.

d) Proposed setback _____ metres. Side & Rear Setback (if applicable) complies? (Secondary road frontage only)

Yes No Existing setback 66.16 m if applicable.

2. Will the development require disposal of effluent waste water (eg bathrooms, ensuite, kitchens, laundry, toilets etc)?

Yes No

3. If so where will the waste water be disposed of to

Effluent waste water to:

- | | | | | |
|--|-----|----------------------------------|----|-----------------------|
| i) Hunter water corporation sewer | Yes | <input checked="" type="radio"/> | No | <input type="radio"/> |
| ii) Onsite disposal to existing system | Yes | <input type="radio"/> | No | <input type="radio"/> |
| iii) New onsite disposal system | Yes | <input type="radio"/> | No | <input type="radio"/> |

Note - Onsite effluent waste water disposal from new houses or house additions will require a separate application. See council Environmental Health Department for further information.

4. Is a BASIX certificate required?

Yes No

When is a BASIX certificate required -

- **1 July 2011** for BASIX Certificates issued for all new dwellings (new single houses, townhouses, apartments, residential flat buildings and secondary dwellings).
- **30 September 2011** for BASIX Certificates issued for Alterations and Additions (of construction value \$50,000 or more, and for pools of 40,000 litres or more).

5. Does the development require any demolition of existing structures?

Yes No

If yes please provide details on the proposed waste management including asbestos and other waste materials.

Demolition of existing sheds. See waste management plan

6. Is your proposed building consistent with the type of similar development in the immediate area including external finishes, size, height etc?

If not what measures are proposed to reduce the impact? (eg Landscaping, screening, painting).

Colours for walls are - White weatherboards to extension (not within streetscape perspective) No change to front of dwelling

Colours for the roof are - Colorbond "Bluegum"

7. Is the land subject to bushfire threat?

Note - See Council bushfire prone mapping on council's website or visit our offices. Consideration also needs to be given to unmanaged grasslands which are not mapped on Councils bushfire threat mapping.

Yes No

If yes, a bush fire threat assessment will be required for the proposed development. See www.rfs.nsw.gov.au for further information on bushfire protection requirements or contact a bushfire threat consultant.

8. Is the land subject to natural or other hazards such as flooding, drainage, land slip, acid sulphate soils, slope, and similar risks? If yes, to what extent? What measures will be taken to overcome these matters?

Yes No

9. Will the development require the removal of any trees/shrubs? If yes, specify approximate areas, tree sizes and numbers.

Note: This can be illustrated on a site plan.

Yes No

10. Does the development involve excavation works which may cause soil erosion?

Yes No

If yes, what steps are to be taken to reduce soil erosion potential? (eg Sediment traps, vegetating bare earth).

11. Where will the stormwater from the roof be disposed to?

To the street Yes No

To a water storage tank overflow to:

- a) Street Yes No
- b) absorption trench Yes No
- c) drainage easement Yes No
- d) existing drainage channel Yes No

To an inter allotment drainage system Yes No

To the existing stormwater drainage system Yes No

To an onsite rubble pit or absorption trench Yes No

Other (provide details): _____

12. Will the development be located over or adjacent to Hunter Water Corporation sewerage mains? (Note: All applications in sewerred areas must be stamped by the Hunter Water Corporation prior to lodging your application)

Yes No

If yes what measures have been taken to ensure that no structural loads will be imposed on the mains?

13. Does your development require construction of a new driveway crossing?

Yes No


14. Is the proposed development located in a heritage conservation area or is there a heritage item situated on the property?

Yes No

If yes please see Dungog Shire Council DCP 17 on our website for further information.

[See attached Heritage Statement](#)

15. Other Matters.

Applicants Signature:  Date: 22/03/2024

Applicant's Name (Please Print): Samantha Richards - Your Home Designs

YOUR HOME DESIGNS

WASTE MANAGEMENT PLAN

LOCATION **Lot: 16, Sec: 27, DP: 58366**
32 Lord Street, Dungog

DETAILS **Alteration and Extension to Existing Dwelling**
Retaining wall

RESIDENTIAL WASTE MANAGEMENT

All waste movements are to be managed by the residents. The residents will ensure:

- general maintenance and cleaning of the MGB storage bins as required;
- transporting of MGB bins to the kerb as required; and
- abide by all relevant OH&S legislation, regulations, and guidelines and any conditions of consent.

CONSTRUCTION AND DEVELOPMENT WASTE

The head contractor is responsible for minimizing the dispersion of litter on site and preventing pollution to avoid impact to the environment and local amenity. Littering or dumping of unwanted materials around the site is not permitted. The head contractor is responsible for the following:

- providing sufficient waste receptacles with corresponding signage;
- the separate collection of building waste including concrete, bricks, blocks, timber, metals, plasterboard, glass, plastics, packaging etc, and offer them for recycling at local recycling facilities where practical;
- recycling and diverting excavated materials including surplus soil, rock and other excavated demolition materials where practical;
- organizing the regular collection service or removal of waste receptacles and recycling;
- prevent overfilling of bins, keep all bin lids closed, secure and leak-free;
- the disposal of chemical, fuel and lubricant containers, solid and liquid wastes shall be in accordance with the requirements of the Principal or the EPA;
- ensure the clean-up of any spillage that may occur on site.

Effluent from the amenities for which the contractor is responsible shall be discharged into the local sewer system, where available. Otherwise, a portable self-contained toilet of suitable capacity will be used subject to acceptable arrangement for disposal of the effluent.

Kind Regards,
Samantha Richards
YHD | Your Home Designs
0407 749 380