

## **DEVELOPMENT PROPOSAL FOR PUBLIC COMMENT**

The following development proposal has been submitted to the Council and although not designated under the Environmental Planning & Assessment Act, 1979, is notified for public comment:

<b>Portal Application Number</b>	<b>DA No.</b>	<b>Location</b>	<b>Proposal</b>
PAN-518095	71/2025	LOT: 7 SEC: 5 DP: 758366, 28 Brown Street DUNGOG Applicant: Ms L Vallentine Owners: Mr J T Squire & Ms E A Raine Consent Authority: Dungog Shire Council	Demolition of Existing Rear Addition to Dwelling and Construction of New addition including Deck in Heritage Conservation Area

Details of the above proposal are available for inspection on the NSW Planning Portal website from **Thursday 8 May 2025**.

<https://www.dungog.nsw.gov.au/Council/Council-Advertisements/Development-Applications>

Submissions can be made via the NSW Planning Portal until **Thursday 22 May 2025**. If you require assistance making a submission via the Planning Portal, please contact Council.

In accordance with *Section 10.4* of the *Environmental Planning & Assessment Act 1979*, a person who makes a public submission to Council in relation to this application is required to disclose all reportable political donations within two years prior to the submission being made and ending when the application is determined.

If the submission includes an objection to the proposal, the grounds of objection must be given. Council may also be obliged to release your submission as required by the *Government Information (Public Access) Act 2009* and the *Environmental Planning and Assessment Act 1979*.

Further, as stipulated in Council's Public Submissions Policy C1.19, Council will not place any weight on anonymous submissions when determining the respective development application.

### **DUNGOG SHIRE COUNCIL EXHIBITED COPY**

**Commencement Date** 8 May 2025

**Closing Date** 22 May 2025



## **STATEMENT OF ENVIRONMENTAL EFFECTS**

### **ALTERATIONS & ADDITIONS TO EXISTING DWELLING HOUSE**

Lot 7 Sec 5 DP758366 28 BROWN ST DUNGOG NSW 2420

prepared by  
**Laura Vallentine Architects (LVA)**

February 2025

## SEE SUPPORTING DOCUMENTATION

Please refer the below reference for supporting documentation as referred to throughout this document:

Reference	Item	Prepared by
Appendix 1	Certificate of Title	Landchecker
Appendix 2	BYDA Search Results	BYDA
Appendix 3	Hunter Water Stamped Plan	Hunter Water
Appendix 4	Architectural Plans	LVA
Appendix 5	Statement of Heritage Impact (SoHI)	Contemporary Heritage
Appendix 6	Site Survey	David Cant Surveyors
Appendix 7	Site Waste Minimisation and Management Plan (SWMMP)	LVA
Appendix 8	Pre-DA Lodgement Meeting Minutes	Dungog Shire Council
Appendix 9	BASIX Certificate	LVA
Appendix 10	S10.7 (2& 5) Planning Certificate	Dungog Shire Council
Appendix 11	Flood Level Planning Information	Dungog Shire Council

## 1 SITE

### 1.1 SITE DETAILS

<b>Property Address</b>	<b>28 Brown St Dungog NSW 2420</b>
Lot/DP	LOT: 7 SEC: 5 DP: 758366
Current Use	Dwelling House
Zoning (Dungog LEP 2014)	R1 General Residential
Site Area	2,023m <sup>2</sup>
Constraints	Minimum lot size – N/A Height of Building – N/A Floor Space Ratio - N/A Bush Fire Prone Land - N/A Drinking Water Catchment Area Williams River Catchment Area Heritage - Dungog General Conservation Area (Dungog Residential Precinct & Dungog Commercial Precinct) Flood Planning - Dungog Tailwater Area
Owner	Refer DA completed application form for owners consent
DP and 88B Instrument	The certificate of title and deposited plan are contained within application.

### 1.2 SITE DESCRIPTION

The site is located at 28 Brown St, Dungog NSW ('the site') and legally identified as Lot 7 in Deposited Plan 758366. The location of the site within the surrounding locality is shown in Figure 1. Locality Plan. The site is located within the Dungog Local Government Area (LGA).

The site has a total area of 2,023m<sup>2</sup>, and is rectangular in shape (East, West Boundaries: 100.5m, North, South boundaries 20.1m). The site is bounded by Brown St to the north, a heavily landscaped laneway to the east, single level residential units to the west and vacant allotments (grassed) to the south. The subject site is contained within both the Dungog Commercial Precinct Heritage Conservation Area (HCA) and the Dungog Residential Precinct Heritage Conservation Area (HCA), as the boundary between the two areas traverses the site. The existing dwelling is not heritage listed. The lot is not known to be included under any other non-statutory or statutory listings as detailed within the Statement of Heritage Impact (Appendix 5). The surrounding locality contains a range of heritage buildings which contribute to the conservation area along with identified buildings of local significance as detailed within Appendix 5. The subject site is in Flood Planning - Dungog Tailwater Area.

### 1.3 EXISTING USE

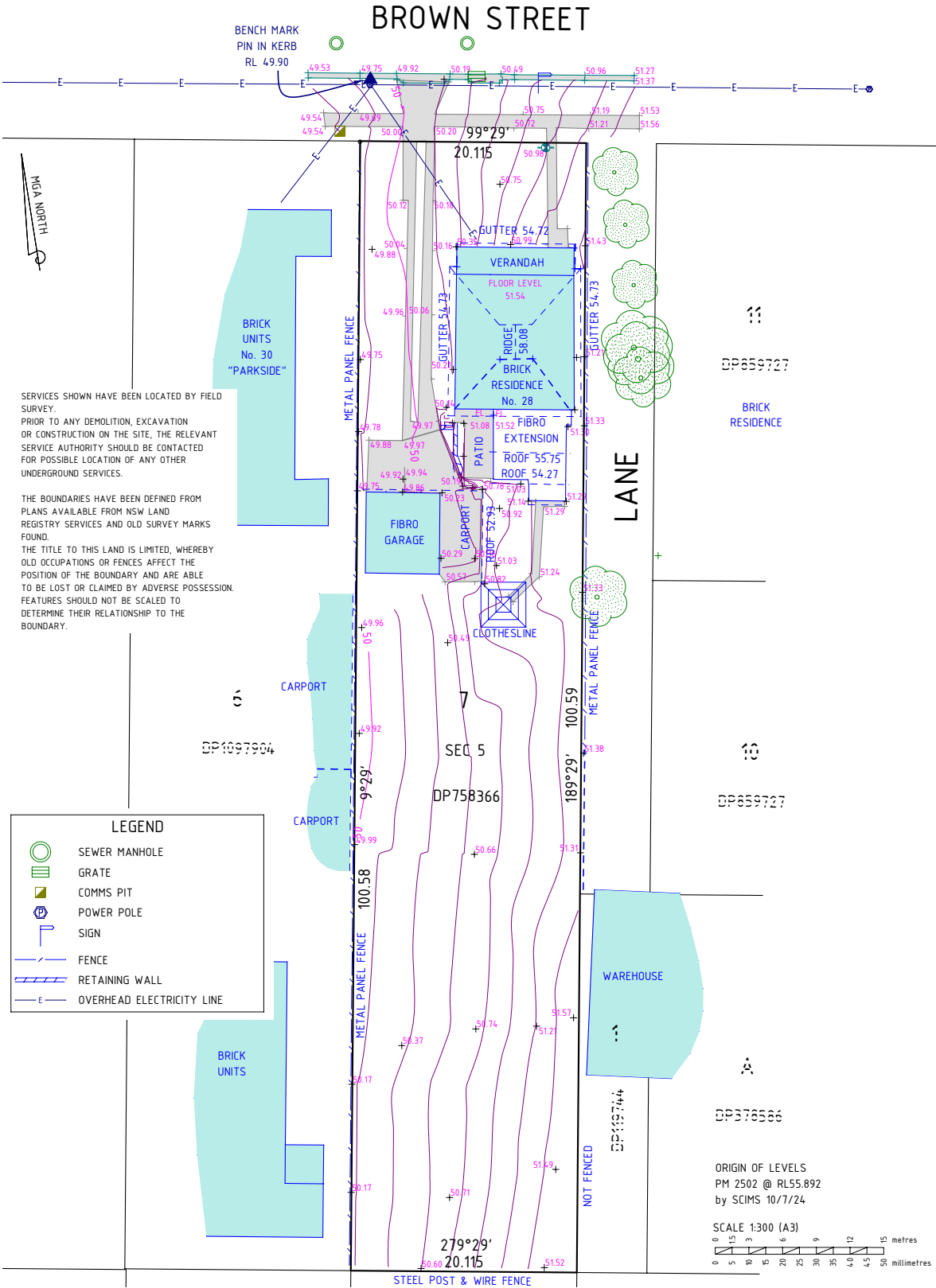
Dwelling house with separate double garage and several small outbuildings.



Figure 1. Locality Plan (SixMaps 2025)



Figure 2. Site Survey Plan (David Cant Surveyors 2024)



## 2. PROPOSED DEVELOPMENT

### 2.1 ARCHITECT SUMMARY STATEMENT

The objective of the proposed development is to obtain development consent for the alterations and additions to an original free-standing dwelling house (1900-1910) located at 28 Brown St Dungog, NSW. This development is enabled through the Dungog Local Environment Plan 2014 (DLEP) and the Dungog Development Control Plan (DDCP). Development consent is sought for demolition of an existing (1960s era) rear 'add-on' extension which includes a timeworn kitchen, bathroom and laundry zones that have become spatially unfunctional and heavily impacted by heat gain in the summer with a dominant western elevation (Figure 3), and the proposed construction of a new addition, largely within the same footprint of the existing, which will provide a series of new functional living and utility zones and a new rear deck (Figure 4).

The design is conceived overall as a simple 'workshop' element, adjoining but clearly subsidiary to the original character dwelling. The form directly responds to the raking roof pitch of the existing tiled roof, proposing a continuation of the existing pitch to allow northern light in at high level, but still preventing visibility of the new addition overall from the street elevation (refer Figure 5).

The contemporary addition proposes a simple form with a consistent material palette, and solid timber detail elements that reference the character of the existing house and establishes a clear delineation between the 'new' and original living zones. The scale, proportion and massing of the addition is designed to sit within, rather than beyond, the visual elevation envelope set by the original dwelling. In this way, the addition establishes a discrete presence on the site that does not detract from the character of the surrounding context. (refer Figure 6).

Key components of the development application for the new single-storey addition proposed at the rear of the existing dwelling house as outlined below:

- New open plan kitchen and dining zone with raked ceiling and high level north facing windows.
- A new utility room 'spine' protects the new living zones from the western sun, and includes a wet room entry, concealed laundry, small bathroom, and butlers pantry with storage
- New low-level covered deck provides separate entry with stair to the wet room entry and an external dining and sitting area directly visually connected to the existing back garden landscape.



Figure 5. DA\_301 North (Brown St) Elevation - Proposed (LVA, 2025)

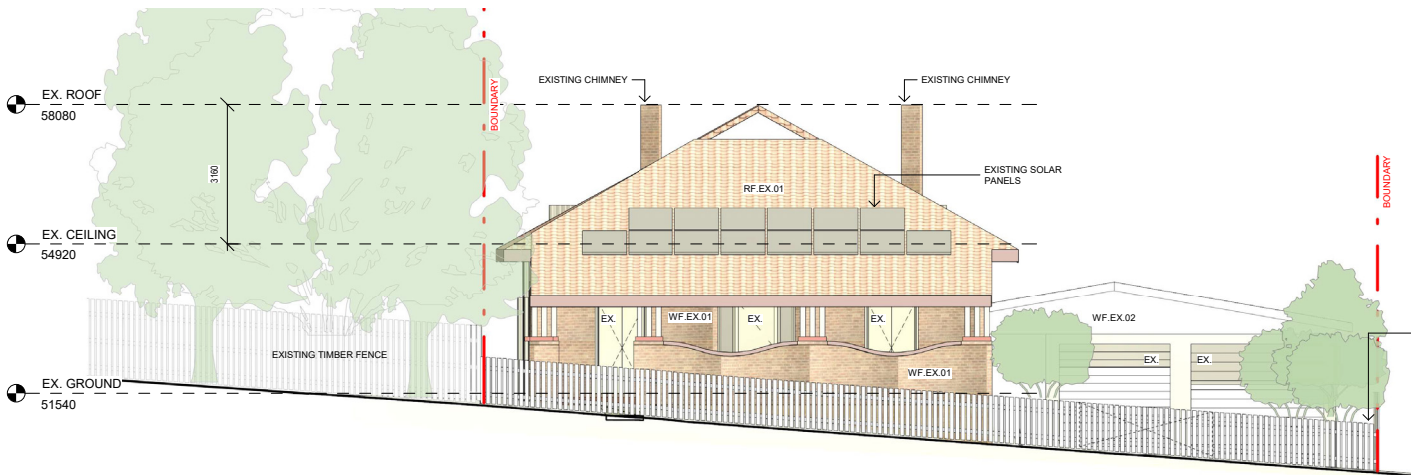
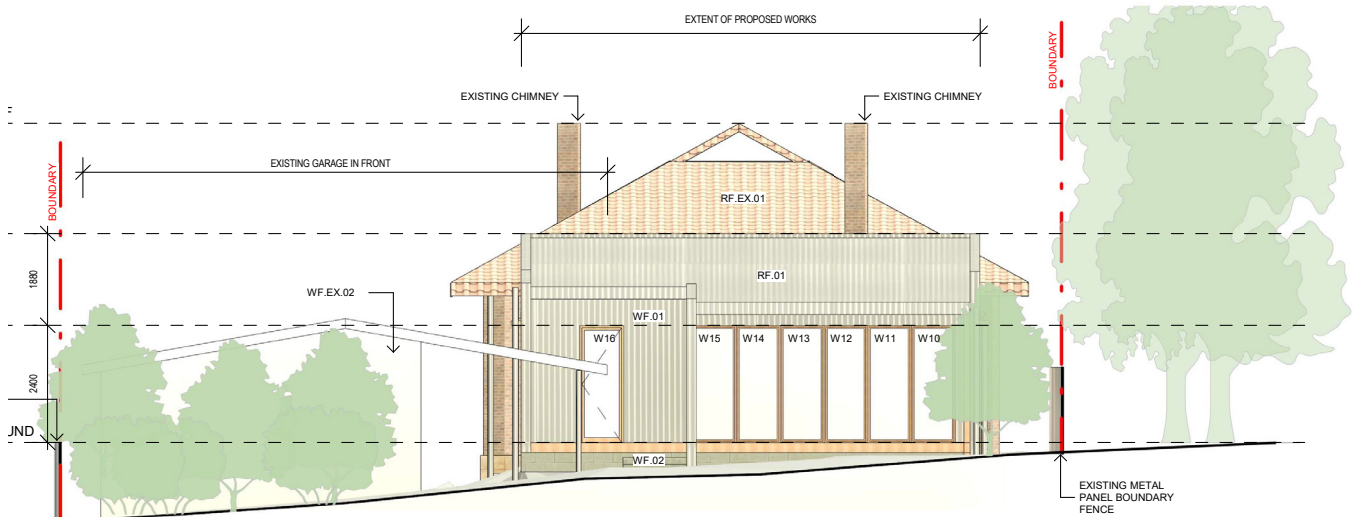


Figure 6. DA\_301 South (Rear) Elevation - Proposed (LVA, 2025)



### 3. PLANNING RESPONSE

#### 3.1 DUNGOG LOCAL ENVIRONMENTAL PLAN 2014 (DLEP)

Pursuant to the Dungog Local Environmental Plan 2014 (DLEP) the subject site is land to which the environmental plan applies. Accordingly, the DLEP is the appropriate EPI to assess the development proposal. The following assessment will demonstrate that the development proposal is compliant with the relevant clauses of the DLEP and permits approval by the Consent Authority.

Clause	Item	Response
<b>Part 2 Permitted or Prohibited Development</b>		
2.2	Zoning of Land to which land applies	R1 - General Residential
2.3	Zone Objectives and Land Use Table	Proposed use permitted with consent
2.7	Demolition requires Development Consent	Proposed demolition permitted with consent
<b>Part 5 Miscellaneous Provisions</b>		
<b>5.10 Heritage Conservation</b>		
5.10 (2)	Requirement for consent Development consent is required for any of the following— (a) demolishing or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance)— (i) a heritage item, (ii) an Aboriginal object, (iii) a building, work, relic or tree within a heritage conservation area,	Site located within a heritage conservation area, demolition of existing addition applicable as per Development Application seeking consent.
5.10 (e)	erecting a building on land— (i) on which a heritage item is located or that is within a heritage conservation area, or (ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance,	Site located within a heritage conservation area, erection of proposed addition applicable as per Development Application seeking consent. Development controls applicable as per Development Application seeking consent.
<b>5.21 Flood Planning</b>		
5.21 (2)	Development consent must not be granted to development on land the consent authority considers to be within the flood planning area unless the consent authority is satisfied the development— (a) is compatible with the flood function and behavior on the land, and (b) will not adversely affect flood behaviour in a way that results in detrimental increases in the potential flood affectation of other development or properties, and (c) will not adversely affect the safe occupation and efficient evacuation of people or exceed the capacity of existing evacuation routes for the surrounding area in the event of a flood, and (d) incorporates appropriate measures to manage risk to life in the event of a flood, and (e) will not adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses.	Site located within a Flood Planning Dungog Tailwater Area. Refer 2700_COM_LZN_009AC_020_20190403_Flood_Zone_Map. Refer DCP Compliance Summary C.8 Managing our Flood Plains below.

## Part 6 Additional Local Provisions

### 6.5 Drinking Water Catchments

(3) In deciding whether to grant development consent for development on land to which this clause applies, the consent authority must consider the following—

- (a) whether or not the development is likely to have any adverse impact on the quality and quantity of water entering the drinking water storage, having regard to the following—
  - (i) the distance between the development and any waterway that feeds into the drinking water storage,
  - (ii) the on-site use, storage and disposal of any chemicals on the land,
  - (iii) the treatment, storage and disposal of waste water and solid waste generated or used by the development,
- (b) any appropriate measures proposed to avoid, minimise or mitigate the impacts of the development.

Site located within Drinking Water Catchment. Refer 2700\_COM\_DWC\_009\_080\_20121105\_Drinking\_Water\_Catchment.

### 6.10 Williams River catchment

(3) Development consent must not be granted to development on land to which this clause applies unless the consent authority has considered whether the development—

- (a) promotes the sustainable use of land, water, vegetation and other natural resources within the Williams River Catchment, and
- (b) promotes the protection and improvement of the environmental quality of the Williams River Catchment, and
- (c) will have any significant adverse impacts on water quality within the Williams River Catchment, and
- (d) is consistent with the Williams River Catchment Regional Planning Strategy published in September 1997 by the Department of Planning and Environment.

Site located within Williams River Catchment Area. Refer 2700\_COM\_WRC\_009\_080\_20130416\_WilliamsRiver\_Catchment.

## Schedule 5 Environmental Heritage

### Part 2 Heritage Conservation areas

Conservation Area - General  
 Dungog Commercial Precinct

Site located within Heritage conservation area. Refer 2700\_COM\_HER\_009AC\_020\_20210719\_Heritage

Conservation Area - General  
 Dungog Residential Precinct

Site located within Heritage conservation area. Refer 2700\_COM\_HER\_009AC\_020\_20210719\_Heritage



### 3.2 DUNGOG DEVELOPMENT CONTROL PLAN - COMPLIANCE SUMMARY

Sec.	Requirement	Response	Complies
<b>C.1 Residential Development</b>			
1.2	<b>Building Height Plane</b>		
	Building height planes in residential zones shall comply with an envelope that extends vertically from natural ground level at 1.8m and projected from that point 45 degrees to the centre of the lot, the height plane at any point inside the envelope shall not exceed 9m above the natural ground level.	The proposal does not exceed the envelope within the no	Yes
1.3	<b>Setbacks</b>		
	Building line set backs vary depending on the property location, solar access requirements and Council set back requirements. For further information please refer to Section 5 – Building line setbacks, of this DCP.	Refer C.3 Building Line Setbacks below	N/A
1.4	<b>Water Supply</b>		
	Council encourages the installation of water tanks on existing buildings (please note that any water tanks within 900mm of the property boundary must be non-combustible). Where the land is serviced by Council's reticulated water supply the development shall be connected to the service at the applicant's expense.	A watertank allowance of 2,000L is nominated to service the proposed additon is shown nominally on Architectural Plans (final location TBC). Refer Appendix 4. The site and existing dwelling house is serviced by and connected to reticulated water. There is no change proposed to this within application. Refer Appendix 3 Hunter Water Stamped Plan.	Yes
1.5	<b>Sewerage</b>		
	Where that land is serviced by Council's reticulated sewer, the development is to be connected to the service at the applicant's expense. Note headworks and water demand charges may apply.	The existing dwelling house is serviced by and connected to reticulated water. There is no change proposed to this within application. Refer Appendix 3 Hunter Water Stamped Plan	Yes

1.8	<b>Energy Efficiency</b>	Energy efficient buildings should be designed to maximise the solar access of the property. Buildings should have living areas facing north and bedrooms facing south, provide cross flow ventilation in all directions by placing windows in suitable locations, concrete slabs placed directly on the ground and internal masonry walls with direct sunlight provide thermal mass for heating qualities. Buildings envelopes are required to achieve a 3.5 star energy rating. The building is to be provided with a compliant Hot Water Service that achieves a 3.5 star energy rating.	The architectural design embodies passive energy design principles. As south facing location for the proposed rear addition created opportunity to rake the new roof form to source northern light through high level windows, and eastern light through mid-high level windows to maximise the available solar access to the new open plan kitchen and dining areas. Living zones are protected from the western sun via a block of service amenities areas with high, deep small glazing only. Refer Appendix 9 BASIX Certificate for glazing, insulation and envelope minimum performance provisions.	Yes
1.9	<b>Building Compliance</b>	All building work is to meet compliance with the Building Code of Australia, and the associated standards adopted by the BCA.	All building work and specifications will comply with the Building Code of Australia's standards.	Yes
1.10	<b>Bush Fire Prone Land</b>	In the event that is identified as being bush fire prone the development must meet the requirements of Planning for Bush Fire Protection. A Bushfire Assessment must be provided by the applicant that complies with the requirements of Planning for Bushfire Protection.	The site is not identified as bushfire prone.	N/A
<b>C.3 Building Line Setbacks</b>				
2.3	<b>Building Line Setbacks to Front Property Boundary</b>			
2.3.3	<b>Land Zoned R1 General Residential or RU5 Village</b>			
		On land zoned R1 or RU5, the minimum setback from the front property boundary shall be:- 1) 6m for a single storey dwelling and 7.6m for a two storey dwelling; and 2) 3m from the side road property boundary on corner allotments.	<b>Setback to existing dwelling house from front property boundary exceeds the 6m minimum for single dwelling</b>	Yes

2.4	<b>Side and Rear Boundaries</b>		
2.4.3	Land Zoned R1 General Residential or RU5 Village		
	On land zoned R1 or RU5, the minimum setback from side and rear boundaries shall be:- 1) 900mm for a single storey dwelling; and 2) 1500mm for a 2 storey dwelling.	_Setback to proposed addition from rear property boundary exceeds 900mm minimum for single dwelling _Setback to existing dwelling house from west property boundary exceeds the 900mm minimum for single dwelling _Setback to existing dwelling house from east property boundary is less than the 900mm minimum for single dwelling - 800mm (varies). Refer DA_110 Ground Floor Plan. Setback to proposed addition exceeds the 900mm minimum for single dwelling.	Yes (refer below)
<b>2.5 Variation to Building Lines</b>			
2.5 (c)	Variations to building line setbacks will only be considered under the following circumstances: Where an existing lawful building is already located in a position that is less than the minimum setback required, alterations or additions to that building may adopt the existing building line setbacks.	Existing dwelling house is already located in a position less than the minimum setback required on the east property boundary. Rather than match this limitation, the proposed addition increases the setback to 1200-1300. The proposed addition protects the integrity of the existing dwelling and does not infringe upon the established side setbacks as visible from the street .A pre DA-Meeting was held with Dungog Shire Council which did not identify any concerns with the proposed east side setback, refer Appendix 8. The proposed rear addition is appropriately sized for the site, maintaining a minor scale to the 'major' element of the existing original dwelling house.	Yes
<b>C.8 Managing our Flood Plains</b>			
8.7	Special Requirements for Fencing		
8.7.2a	a) Fencing is to be constructed in a manner which does not affect the flow of floods so as to detrimentally increase flood affection on surrounding land. b) Solid or barrier Fencing must be certified by a suitably qualified engineer, that the proposed fencing is adequately constructed so as to withstand the forces of floodwaters. c) The alignment of fencing relative to flood flows must be considered	Application proposes a new timber picket fence approx. 1100H in keeping with the heritage conservation areas recommendation. We understand from Pre-DA meeting with DSC that an 'open style picket fence on the front property boundary is considered acceptable from a flooding perspective". Please refer Appendix 8.	Yes
Schedule 1	Land Use Categories		
	Residential	Dwelling house applicable	Yes

Schedule 2 Flood Plain Areas Planning Matrix Controls

	Floodplain Management Zone	Site is classified as 'Flood Fringe' as confirmed by Dungog Shire Council. Refer Appendix 8.	Yes
Floor Level	2. Floor levels (excluding non-habitable residential floorspace) to be equal to or greater than the FPL and other floor levels equal to or greater than the FPL. Construction in Floodway not permitted.	The existing floor level of the original dwelling house and rear later extension is RL 51.54 AHD, 70mm lower than the nominated FPL. The proposed application seeks to demolish and replace the existing rear extension structure (49m2) only, and proposes a new replacement addition (55m2) that maintains the FFL aligned with the existing original house. Given the proposed works represent for the most part demolition and replacement of existing portions of the structure, DSC confirmed <i>'strict compliance with the FPL would not be enforced'</i> . The new addition does contain habitable areas, but does include bedrooms. The new addition proposes an minor increase in gross floor area of 6m2 only. Refer Appendix 8.	Yes
Building Components	1. All structures to have flood compatible building components below or at the FPL	Please refer Schedule 4 comments below.	Yes
Structural Soundness	1. Engineers certificate to confirm any structure subject to a flood up to and including the 1% AEP or 0.2% AEP (as applicable) flood level can withstand the force of flood water, debris and buoyancy.	The proposal assumes this certification will applied to all structural elements as confirmed by DSC: <i>"Flood compatible materials would normally be required for the portions of the structure below the FPL, however, in this case it was agreed that flood compatible materials need only be provided below the proposed finished floor level of RL 51.54m AHD. This will need to be demonstrated on the plans and confirmed by the structural engineer"</i> . Refer Appendix 8.	Yes
Flood Affection	2. The impact of the development on flood affection elsewhere to be considered. The development must not obstruct or divert flood waters to or from neighbouring properties	As the proposed works are minor and seek only to demolish and replace existing building structure at the same level, no additional impact on or obstruction to neighbouring properties is envisaged by the application.	Yes

Evacuation/ Access	4. Consideration required regarding an appropriate flood evacuation strategy & pedestrian / vehicular access route for both before and during a flood.	Noted. Owners to determine for emergency procedures.	Yes
Flood Awareness	S5.10.7 certificates to notify of applicability of this DCP	Refer Appendix 10. Section 10.7 (2) & (5) Certificate sourced from Dungog Shire Council that has informed this application.	Yes
Management and Design	1. Flood plan required where floor levels are below the design floor level.	Noted, assume DA to be conditioned if applicable.	N/A
	2. Applicant to demonstrate that there is an area where goods may be stored above the FPL during floods.	Noted, assume DA to be conditioned if applicable.	N/A
	3. Applicant to provide controls where necessary to prevent the discharge of pollution during floods, including compliance with Councils On-site Sewage Development Assessment Framework.	As the proposed works are minor and seek only to demolish and replace existing building structure at the same level, reticulated sewer and water services are proposed for which Councils OSDAF is non-applicable.	N/A
Schedule 3	Definition of Flood Planning Level		
Location	Dungog Tailwater Area	Site located within Dungog Tailwater Area. Refer 2700_COM_LZN_009AC_020_20190403_Flood_Zone_Map	Yes
Flood Planning Level	Applicable 0.2% AEP level plus 500mm freeboard	The Flood Planning Level for the site is <b>RL51.61m AHD</b> as confirmed by Dungog Shire Council. Please refer Appendix 11.	Yes (refer above)
Schedule 4	Flood Compatible Materials		
	Flood compatible materials would normally be required for the portions of the structure below the FPL	It was agreed with Council that flood compatible materials need only be provided below the proposed finished floor level of RL 51.54m AHD. Flood velocity at this location has been determined as 1m/s and flood depth at approximately 1.1m. Structure below the RL 51.54m AHD will adhere to Schedule 4 requirements and be confirmed by a structural engineer for the CC. Refer Appendix 8.	Yes
Flooring and Sub-floor Structure	Flood Compatible Materials: <ul style="list-style-type: none"> <li>• concrete slab-on- ground monolith construction</li> <li>• suspension reinforced concrete slab.</li> </ul>	Proposed floor structure to new addition is suspended reinforced concrete slab to RL +51.540 AHD. Refer Refer Appendix 4 DA_201.	Yes

Wall Structure	Flood Compatible Materials: Solid brickwork, blockwork, reinforced, concrete or mass concrete	Subfloor wall structure to new addition suspended slab perimeter proposed to be concrete blockwork. Refer Appendix 4 DA_201.	Yes
Wiring	All wiring, power outlets, switches, etc., should, to the maximum extent possible, be located above the relevant flood level	All proposed electrical outlets will be located above the Flood Planning Level RL51.61m AHD as confirmed by Dungog Shire Council. Please refer Appendix 8.	Yes
<b>C.15 Contaminated Land</b>			
	Council shall ensure that all development in Dungog Shire is carried out having regard to the requirements of the Dungog Shire Council Contaminated Land Policy, along with all supporting guides and documents that may from time to time exist to guide the management of contaminated land.	The site is not defined as significantly contaminated land, nor is it currently subject to a management order.	Yes
<b>C.16 Biodiversity</b>			
	<p>The principal objectives of this Plan are to:</p> <ul style="list-style-type: none"> <li>protect and preserve native vegetation and biodiversity in the Dungog Council area</li> <li>retain native vegetation in parcels of a size and configuration which will enable the existing plant and animal communities to survive in the long term</li> <li>protect and enhance habitat for threatened species, populations and ecological communities</li> <li>maintain and enhance corridors for fauna and flora</li> </ul>	The land is not biodiversity certified land under the Biodiversity Conservation Act 2016, Part 8.	N/A



C.17 Heritage			
	<p>When determining an application for development of a heritage item or in a heritage conservation area that will involve the construction of a building an applicant should supply, in addition to information required to be supplied with all development applications, photographs and/or elevations and a completed building assessment form that will enable the consent authority to assess how a proposed development will relate visually to buildings already on the land subject to a development application and on land in the vicinity of the development.</p>	<p>The application site falls within both the Dungog Commercial Precinct Heritage Conservation Area (HCA) of local heritage significance and the Dungog Residential Precinct Heritage Conservation Area. The boundary between the two zones traverses the application site - refer 2700_COM_HER_009AC_020_20210719_Heritage. The existing dwelling house is not heritage listed. The site is not known to be included under any other non-statutory or statutory listings. The Statement of Heritage Impact contained in Appendix 5 confirms the proposed development application aligns with the significance of the area and the Dungog Development Control Plan. The proposal complies with the Heritage controls and respects the objectives of the Heritage Conservation Area. Council have confirmed they were satisfied with the materials selection in respect to integration within the heritage precinct. Please refer Appendix 8.</p>	Yes
C.18 Water Efficiency			
18.2.5	<p>This DCP applies to the following types of development that may only be carried out with development consent or a complying development certificate:</p> <ul style="list-style-type: none"> <li>• commercial buildings;</li> <li>• industrial buildings</li> </ul> <p>This DCP does not contain provisions relating to subdivision design and layout.</p>	<p>Whilst not specifically required by the DCP, this application proposes water efficiency measures aligned with the intent of the control. Refer Appendix 9 BASIX Certificate.</p>	Yes
C.20 Off-street Parking			
Schedule 1	<p>A residential dwelling house requires 1 space per dwelling. At least 1 space per dwelling to be undercover.</p>	<p>No proposed change to existing condition within application. Existing on-site parking condition allows for multiple vehicle parking, with additional separate dual car garage providing undercover parking.</p>	Yes
C.22 Signage			
		<p>No advertising or signs are proposed with application</p>	N/A

C.23 Onsite Sewerage Management		
	Development consent will not be granted by Council unless adequate arrangements have been made for the disposal and management of sewage. Developments without access to the reticulated sewer of the local water and sewer authority must demonstrate that the proposal for the disposal and management of sewage is adequate and sustainable and how it satisfactorily addresses the Dungog Shore On-site Sewage Management Policy.	Hunter Water reticulated sewer services the existing dwelling house and there is no change proposed to the arrangement within this application. Refer Appendix 3 Hunter Water Stamped Plan
		Yes
C.24 Site Waste Minimisation & Management		
	All applications for development, including demolition, construction and the ongoing use of a site/premise, must be accompanied by a Statement of Environmental Effects (SEE). This Statement is to include a SWMMP as the central document of compliance with this Chapter's requirements.	A Site Waste Minimisation and Management Plan (SWMMP) has been prepared for the development. Refer Appendix 7. The existing residential waste collection services associated with the site are proposed to be retained, the proposed development is not expected to generate any additional demands.
		Yes

## 8 CONCLUSION

This Statement of Environmental Effects (SEE) demonstrates that the proposed application aligns with the development quality and performance principles outlined within the Dungog Shire Council LEP 2014 and DCP, and provides particular consideration to the delicate and considered design quality required by the heritage conservation area site setting. It will contribute significantly to the quality of surrounding building context, whilst dually addressing the technical complexity of the flood planning and heritage site controls, with a simple, sustainable quality addition. We believe all relevant issues have been addressed within this SEE, and any potential concerns have been effectively managed or mitigated.

The primary reasons for the appropriateness of the proposed development are as follows:

- The proposed development is permissible on the site with consent.
- There will be no adverse impact on the existing character or amenity of the heritage area, as per the Statement of Heritage Impact.
- The proposal is expected to positively enhance the existing heritage leafy streetscape with little impact on the surrounding residential properties.

We await Council's determination on this matter, and are available for any further questions or clarifications should they be required.



**28 Brown Street, Dungog**

# STATEMENT OF HERITAGE IMPACT

ALTERATIONS AND ADDITIONS

## CONTEMPORARY HERITAGE

WWW.CONTEMPORARYHERITAGE.COM.AU | ABN: 37 629 824 380

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Issue:	1	2		
Revision:	-			
Date:	06/01/2024	13/02/2025		
Status:	Draft	Final		



**Statement of Heritage Impact**  
28 Brown Street, Dungog

## 1. INTRODUCTION

- a. Contemporary Heritage has been engaged to prepare a Statement of Heritage Impact for 28 Brown Street, Dungog, Lot/Section/Plan no: 7/5/DP758366.
- b. This report adopts the methodology outlined in the Guidelines for preparing a statement of heritage impact (prepared by Department of Planning and Environment, 2023.) It has been undertaken in accordance with the principles of the Burra Charter, 2013.
- c. The subject site is located 28 Brown Street, Dungog. The subject property is not listed as Heritage Item, but is partially within the Dungog Residential Precinct and partially within the Dungog Commercial Precinct, both of which are of Local Significance and listed within the Dungog Local Environmental Plan 2014. The subject property is in the vicinity of multiple heritage items as identified on the map below.
- d. This report was prepared by CONTEMPORARY HERITAGE.

Nominated Architect: Jason Penhall

BA(Hons.) Arch., PG-Cert. Arch., M.Arch., PG-Dip. Prof. Prac.

Architect Reg. 11285



**Figure 1** Site Location with Heritage Overlay  
source NSW Planning Portal - Subject site shown outlined in yellow

## 2. HISTORICAL CONTEXT

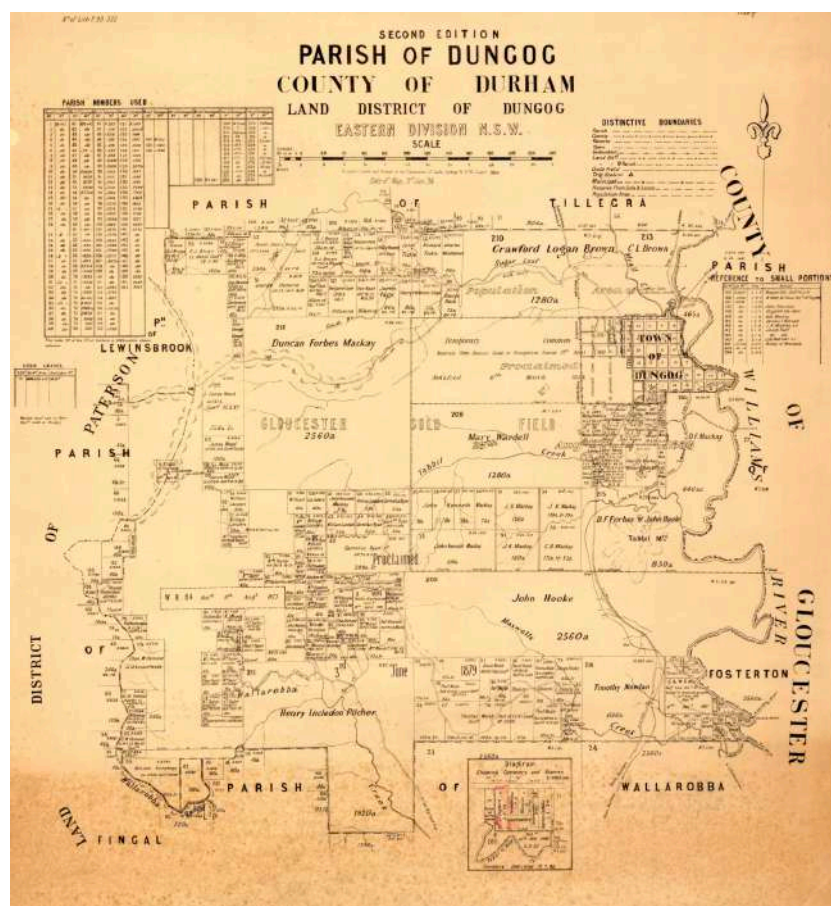
### 2.1 Historical Context

The Paterson, Allyn and Williams Rivers were home to the Gringai People, from around 1800 through to 1830 European settlement of the area increased in intensity with land granted to individuals establishing farms. It is believed that the name, Dungog, is a corruption of 'tunkok', meaning 'place of thinly wooded hills'. Dungog was named by Captain Thomas Cook who was the local magistrate, in 1834.

Dungog and Paterson received Courts of Petty Sessions in 1833 and postal services in 1834 just prior to a period of conflict after a Gringai man was hanged at Dungog. By the 1840's, Dungog, Paterson, Clarence Town and Gresford were becoming well established with a mix of government services and private businesses.

Farming was initially based on a combination of Free Settlers and convicts but from the 1840s, due to the ending of transportation, convict labour dwindled. Wheat, corn, tobacco were the main crops, as well as cattle and sheep and there was also timber cutting.

The following is a Parish Map dated 9<sup>th</sup> January 1894. The map shows the Parish of Dungog, county of Durham.



**Figure 2** Parish of Dungog, County of Durham Map, 9 January 1894  
source: The University of Newcastle. Living Histories



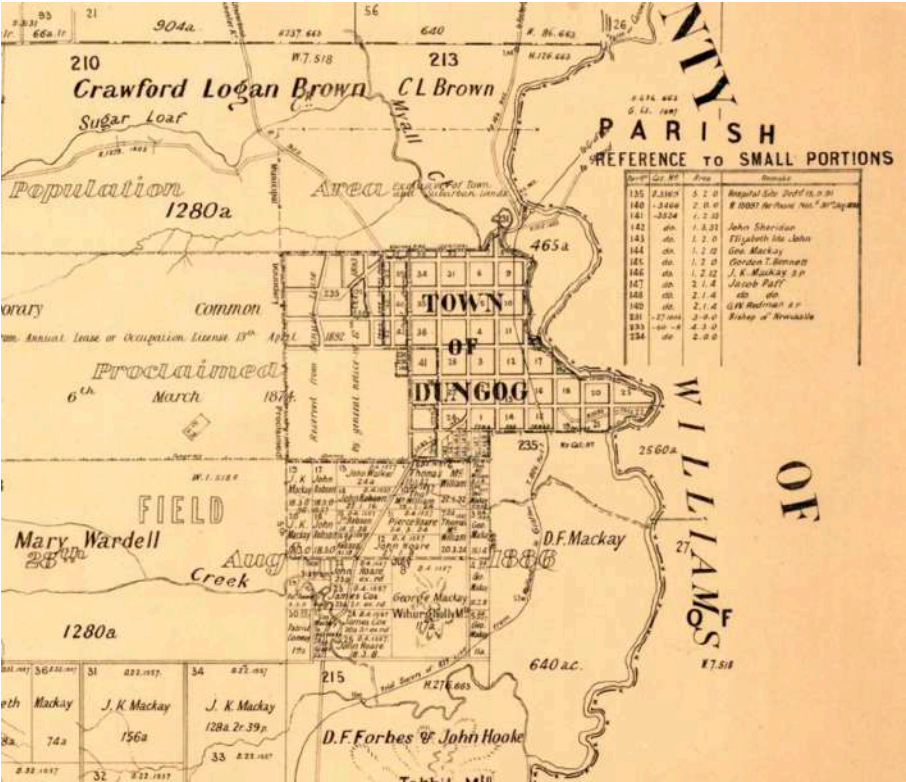
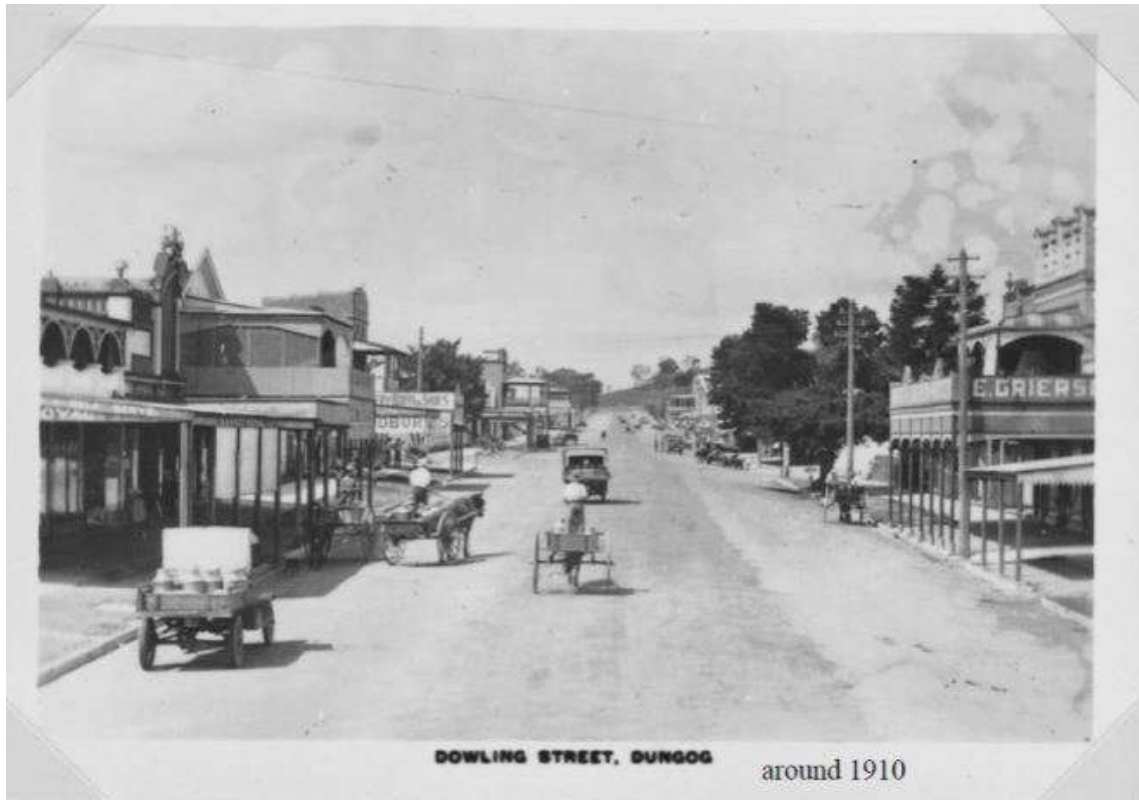


Figure 3 Parish of Dungog, County of Durham Map, 9 January 1894  
source: The University of Newcastle. Living Histories



**Figure 4** Postcard of Dowling Street – c1910  
source: camdenhistorynotes.wordpress.com

Dungog Shire grew through agricultural industry which began to change towards the 1890's with the rise of the dairy industry, continuing to grow through the 1920's. The Dungog Memorial Town Hall was built and occupied by the Municipal Council and the RSL in 1920.

Following World War I, tourism began to grow around Dungog, bolstered by the dairy industry, railway and motor cars which allowed Dungog in particular to boom.

*The early 20<sup>th</sup> century brought an increasing range of technology - electricity, motor cars, cinema, lights, and telephones - which, despite the Great War and even the Great Depression, meant a long period of gradually improving standards of living for most. This is not to say that class differences did not exist or that many throughout the district did not continue to live in relative poverty.<sup>1</sup>*

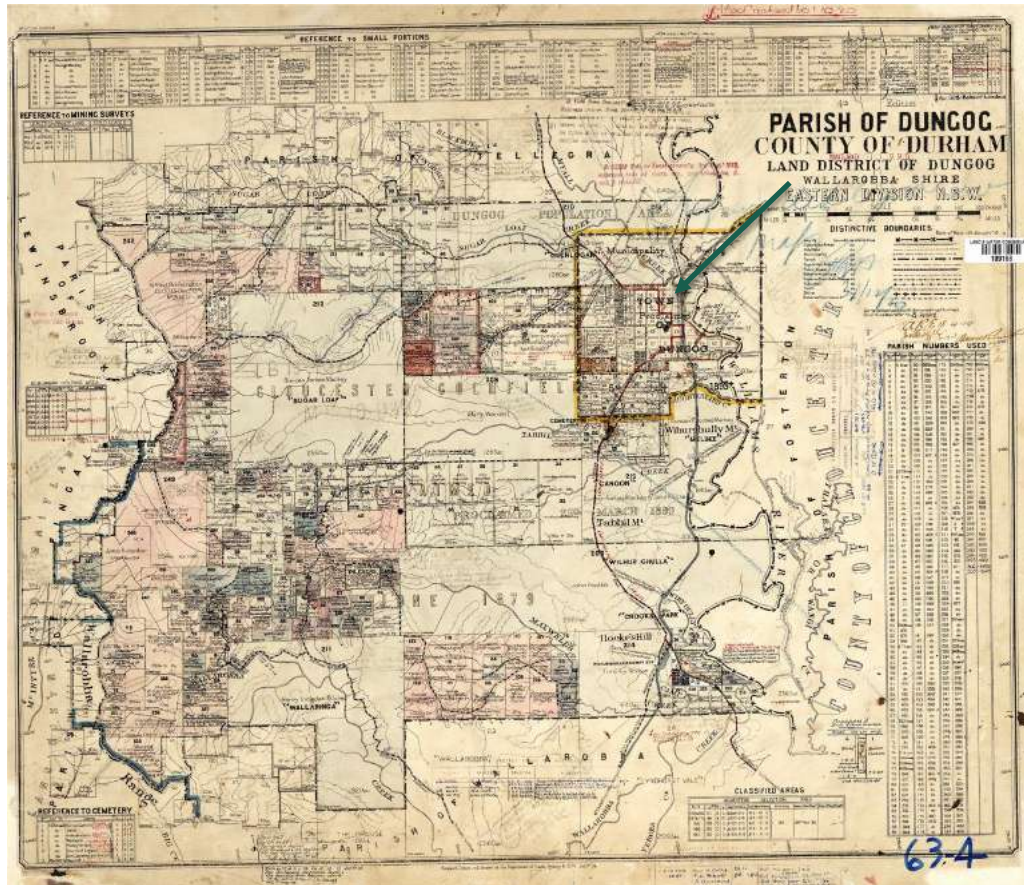
The number of dairy farms began to decline in the 1960's and as women began to enter the workforce in increasing numbers. The use of the motor car and bridging of the Williams River at Raymond Terrace made travel easier which resulted in the commercial centres of all the major towns in Dungog Shire district shrinking. Fewer employment opportunities meant that young people left the area in increasing numbers but conversely, improved transport began to attract people to the quieter rural lifestyle.

Since the 1980's lifestyle continues to see changes to Dungog, whilst slow, agricultural land has been reduced through subdivision for 'lifestyle' use.

<sup>1</sup> williamsvalleyhistory.org

**Statement of Heritage Impact**  
28 Brown Street, Dungog

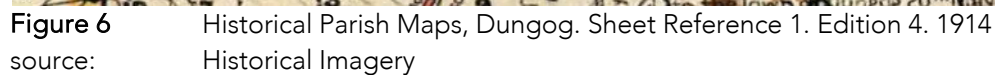
The following Image is of a Historical Parish map of the Parish of Dungog. The map is dated 1914 and shows early subdivisions and street formations of the town of Dungog. The green arrow points toward the town of Dungog and the subject property.



**Figure 5** Historical Parish Maps, Dungog. Sheet Reference 1. Edition 4. 1914  
source: Historical Imagery

The following image is an extract of the map above. The subject property falls within Portion 5 of the map. The green arrow points toward the subject property.





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Statement of Heritage Impact  
28 Brown Street, Dungog

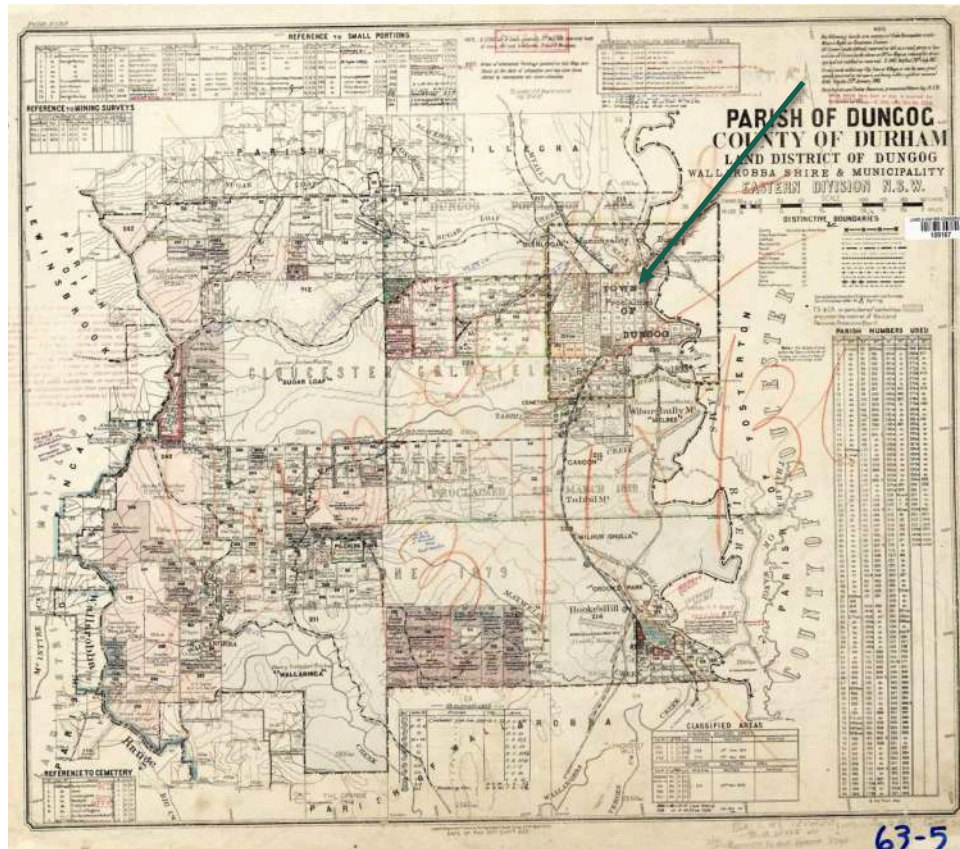


Figure 7 Historical Parish Maps, Dungog. Sheet Reference 1. Edition 5. 1920  
source: Historical Imagery



Figure 8 Historical Parish Maps, Dungog. Sheet Reference 1. Edition 5. 1920  
source: Historical Imagery



Statement of Heritage Impact  
28 Brown Street, Dungog

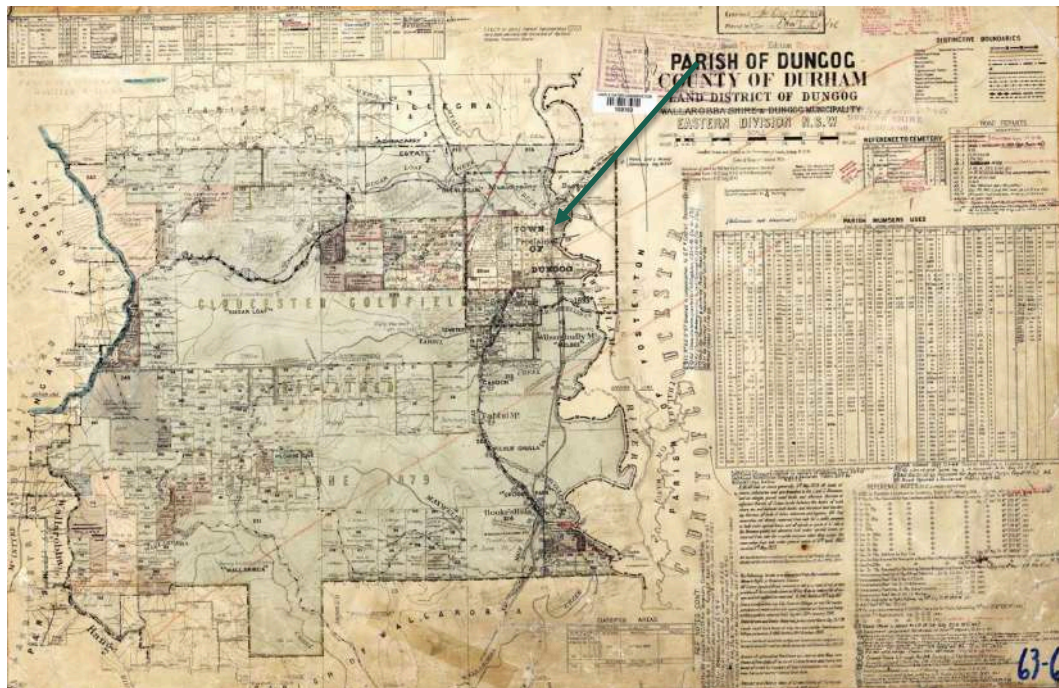


Figure 9 Historical Parish Maps, Dungog. Sheet Reference 1. Edition 6. 1935  
source: Historical Imagery

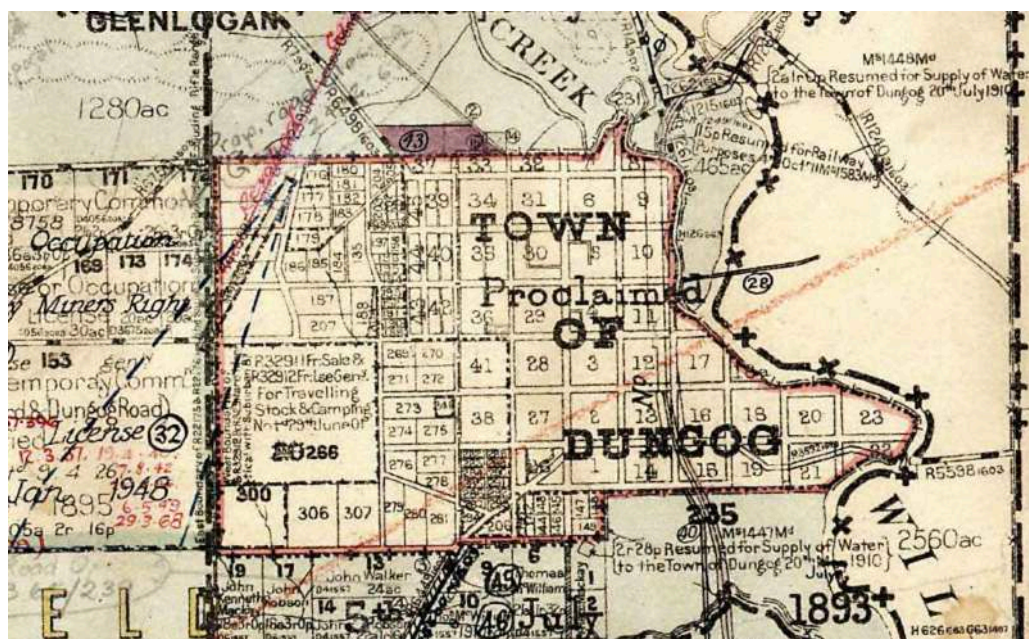


Figure 10 Historical Parish Maps, Dungog. Sheet Reference 1. Edition 6. 1935  
source: Historical Imagery



## 2.2 Dowling Street

Dowling Street is the main street in Dungog running north to south. Named after Chief Justice James D. Dowling, who was an early landholder within the district. Many businesses of the late 19<sup>th</sup> century were located at the northerly end from Hooke Street to the Myall Creek. The main shopping and business area were and still are located between Hooke Street heading south toward Mackay Street.

The following image is an early photograph dated 1908, captured by G. Kelly, showing Dowling Street, Dungog.



**Figure 11** Dowling St, Dungog. 18. G. Kelly. Photo [1908]  
source: The University of Newcastle. Living Histories.

A feature of this town plan of Dungog is that it contains a unique record of the major landowners of the time, fixed in the street names that Dungog still preserves. Nearly all the original streets were named after surrounding landowners, such as Dowling, Lord, Mackay, Brown, Hooke, Verge, Chapman and Myles.<sup>2</sup>

## 2.3 Brown Street

The subject site is located on Brown Street, which is located to the west of Dowling Street, south of Hooke Street and north of Mackay Street. Brown Street along with Lord, Mackay, Chapman, Hooke, Dowling and Myles were all named after landowners at the time of Francis Rusden's 1838 survey.

<sup>2</sup> Dungog Shire Heritage Study - Three Rivers - reviewed

## Statement of Heritage Impact

28 Brown Street, Dungog

Brown is home to a number buildings and areas of significance to the town of Dungog, including James Theatre, the Court House and access to the Apex Lookout on Hospital Road at the western end.

### 2.4 146 Dowling Street



**Figure 12** J.A. Rose Building - 31 March 1911

source: Dungog Contemporary Gallery

In the vicinity of the subject site and to the south-east is the J. A. Rose Building, which is of Local Significance in the Dungog Commercial Precinct and is listed as Item I49 in Schedule 5 of the Dungog Local Environmental Plan 2014.

**New Building.**  
Messrs. **Angus and Coote**, jewel-  
lers, are so well satisfied with the  
prospects of Dungog and district,  
that they have purchased a block  
of land from Mr. Jos. Abbott, op-  
posite the post office, the site upon  
which their present shop and Mr.  
McLaughlin's shop now stand, and  
contemplate erecting a two-storied  
building there, in place of the pre-  
sent wooden structures. It will  
comprise three shops and a dwell-  
ing on the first story.

Originally built circa 1910 for "Angus & Coote, Jewellers" and the excerpt to the right gives some indication of the construction as told to the reporter by the then Manager, Mr A. Carnell:

**Figure 13** J.A. Rose Building Angus and Coote, Jewelers

source: Dungog Chronicle : Durham and Gloucester Advertiser - 11 Feb 1910



**Figure 14** Rose & Wade buildings  
source: Dungog Museum Facebook

Dungog Chronicle : Durham and Gloucester Advertiser - 31 March 1911

The edifice has a 45 feet- front to Dowling-st., and situated as it is, almost immediately opposite the Post Office, commands one of the best business locations in Dungog. It extends rearwards 35 feet, while a second storey constitutes Mr. Carnell's residential quarters.

The shop has four plate glass windows, each eight feet, high, and with angle bars of polished brass. In the centre is the jewellery and watch making establishment of Messrs Angus and Coote, under the supervision and control of Mr. Carnell. He has a busy staff of assistants and workmen employed effecting repairs – to stubborn time-pieces or damaged jewellery, while the stock displayed in the show cases and the new plush lined window fittings (the latter themselves cost £25) is worthy of the notice and attention of anyone.

The main room of the shop has a depth that enables a most effective display of the stock to be made. In the left hand corner, built into the solid brick wall is a steel fire-proof strong-room for the nightly protection of the valuables, while attached to the wunderlich ceiling are acetylene lights, part of the plant which illuminates each shop and room.

Mr. J. McLaughlin's, shop is on the right, and Mr. Hutton's hairdressing saloon on the left. Both have a 13 feet frontage, each to the street, and an extensive depth that constitutes all that is necessary for the business carried on.

The residential portion of the premises is attractive and comfortable. On the ground floor is situated a large dining-room, pantry, and kitchen while a moderately equipped laundry has been erected at the rear. Up stairs there are four large bedrooms 13 ft x 11 feet, one with a fireplace in it; a sitting-room of still larger dimensions, a bathroom and linen-press.

**Statement of Heritage Impact**  
28 Brown Street, Dungog

The balcony is some 7 feet in width, private and comfortable.

The building was designed by Mr. Carnell, plans executed by him, and it is to his credit to point out that he superintended the work of construction from the outset. The contractor who built the place was Mr. C. J. Spackman, and no better recommendation of his work can be given than the shop itself.

In the Dungog Heritage Study dated 12 April 1986 the property is described as:



**Figure 15** J.A. Rose Building

source: Dungog Heritage Study 1986 - Dungog Town Centre

Description: Outstanding individual building. Badly in need of repair but quite capable of restoration. Two-storey brick with unusual and impressive parapet (skyline especially). Deep verandah extending out over footpath. Turned timber columns with carved and fretted brackets. Balcony above set further back. Double carved corrugated iron verandah roof floors down from balcony balustrade. Balcony roof is bullnosed and also supported on turned timber columns. Pressed metal balustrading. Original style shopfronts downstairs.

History: Originally "Angus & Coote, Jewellers" building.

Significance: Useful streetscape building with individual architectural interest. Even greater potential if restored. Dominates its neighbours in terms of height and style, making it an impressive centre piece.

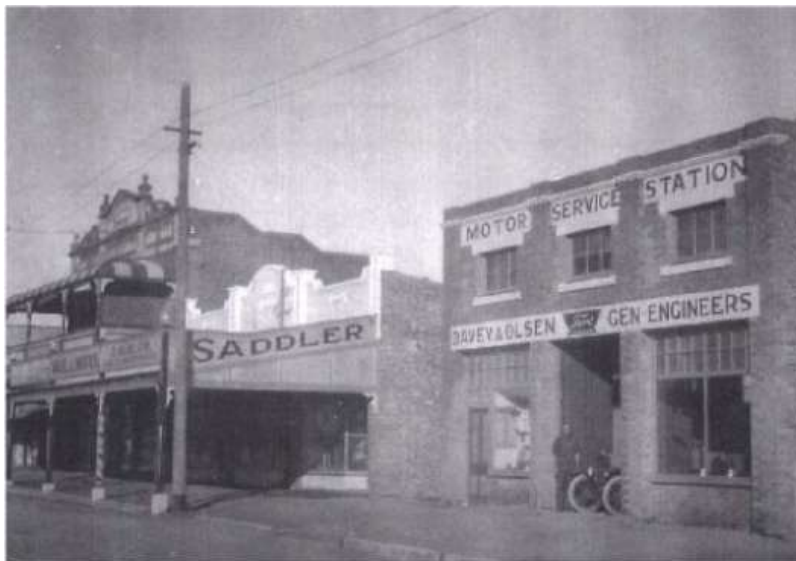
## Statement of Significance

The JA Rose is an important and somewhat iconic building for the Dungog and makes a significant visual contribution to the main street. The Rose building is a highly significant retail building with associations with Dungog's retail development from the late 19th century. The building has been well conserved and is valued by the owner, tenants, community and visitors alike.

### 2.5 Wade's Building, 152-156 Dowling Street

Immediately adjacent the south-eastern corner of the site is 152-156 Dowling Street known as Wade's Building and listed as Item I50 in Schedule 5 of the Dungog Local Environmental Plan 2014. This property is of Local Significance in the Dungog Residential Precinct.

The Cooreei Corn and Flour Mill was owned by Wade and Co and established by John Wade and R. L. Alison. John Wade arrived in Sydney from England with his father and brothers in 1858 and was born in Yorkshire around 1842. He initially worked as a storekeeper in Forbes and then opened his own general store in Dungog before he partnered up with Alison to build a mill. Wade's Building can be seen in the images below; previously a wooden building occupied by the Saddler and later rebuilt in brick and became known as Wade's:



The wooden buildings occupied by Mr S Bromley, small goods, and D M Blow, saddler, were destroyed by fire in August 1920. The rebuilt brick building was again occupied by Blow's saddler, as well as Dombkin's bootmaker.

**Figure 16** 156-154 Dowling St

source: Ah, Dungog - a survey of its charming houses and historic buildings





**Figure 17** 156-154 Dowling St

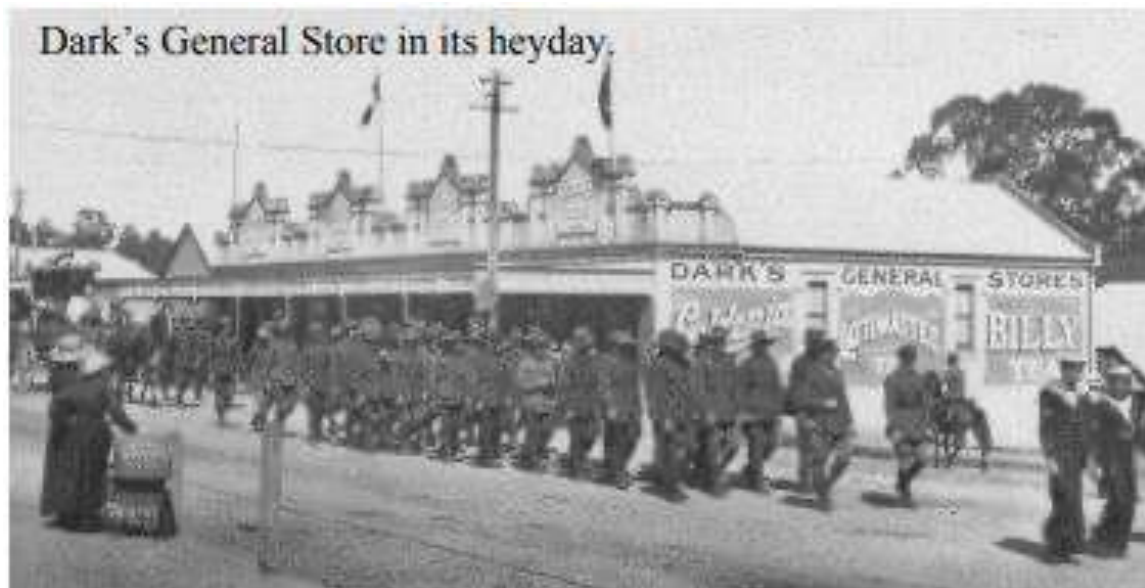
source: Ah, Dungog - a survey of its charming houses and historic buildings

### Statement of Significance

The study site is known for a brief but intense period of corn flour milling between 1878 and 1902. Until such time corn flour products were imported to Australia and the Cooreei mill was one of the first in the state to process locally grown corn. In addition, the scale of operations at the study site appears to far exceed other known historical mills in the same region such as Walker's or Corner's Mills. A notion that is reinforced by the fact that Wade's corn flour products could be purchased well into the 20th century. As the mill was dismantled and moved to Sydney in 1902 and the study site is located on a river bank, a natural feature that is prone to erosion, there is no strong indication of intact archaeological potential. If intact archaeological material is extant, the study site would be considered a locally significant resource to understanding the historical industries of Dungog.

### 2.6 H.C. Dark Building, 182–190 Dowling Street

A site originally occupied by J.A. Wade contained a "cottage building" but taken over by Henry Charles Dark in 1877, which became the largest general store in Dungog. Henry Dark married Mary Ann Wade who continued to run the business after the death of Henry in 1901, followed by their sons, George and Eric:



**Figure 18** Dark's General Store

source: Ah, Dungog - a survey of its charming houses and historic buildings

Originally all the stores in this row were built by the Dark family and generally rented out to other businesses. The first section along from Dark's proper was Dark's produce section, which opened onto what is thought to be a lane.<sup>3</sup>

In 1897 an article described the new building, designed by Mr C.H. Button and building contractors Messrs Griffiths and Webber. See excerpt below of description:

Dungog Chronicle : Durham and Gloucester Advertiser - 21 May 1897

The building is one of large proportions and commanding appearance, and is solid and substantial in construction. Some people are under the impression that the edifice is too elaborate, but we are of opinion it is not too good for a town of the growing importance of Dungog. The new buildings cover a space of 64 x 52 ft. being erected on the corner of Dowling and Brown Streets, with brick walls on concrete and stone foundations; the outside of the building is very imposing, the front shows four large plate glass windows 8 x 7 ft., which are boxed on the inside with sliding sashes, and with false floor and ceiling.

A colonnade. 18ft. wide covers the footpath, having iron columns, iron roof, and name board complete above the colonnade, and rising up some 10ft is a parapet wall above a massive cornice with pediments (having the owner's name and dates of establishment of business and re-erection of buildings in raised letters); pilasters are also put in to relieve the front, and the whole is finished with ornaments and mouldings complete. There are also label mouldings over all window openings, all this work being done in cement and neatly colored.

The inside consists of two large rooms connected by archways, which make the grocery and drapery departments separate, but also connected as one large shop; under these are basements, connected in the same way as the ground floor of the shop, only with smaller openings; the floor of basement is of concrete, finished with cement; the basement will be used principally for the storage of grain and heavy goods. Two flights of stairs connect the basement with the shop floor, these are finished in cedar with rent tailing around the well hole.

<sup>3</sup> Ah Dungog - A Brief Survey of its Charming Houses & Historic Buildings

**Statement of Heritage Impact**  
28 Brown Street, Dungog

The shop floor is carried on brick piers running up from the basement, and is strongly framed, having two rows of herring bone strutting between the joists, the ceiling joists are also strengthened with three rows of strutting, and are covered with corrugated iron as ceiling. The roof is of iron, and the timbers of same are strongly framed together. The roof is double, having a lead gutter between to carry off the water into galvanised iron down pipes; it is finished with a gable end at back, the brick wall running above the roof some 18in. Great attention has been paid to lighting and ventilation, which are of the latest improvements. The brick walls are build in cement- mortar to the floor level; box windows are used throughout, and all the floors are neatly finished with fanlights over. All the woodwork, and iron columns, &c, have been painted in contrasting colours, with projections and mouldings neatly picked out.

**Statement of Significance**

This retail building is historically significant at the local level for its association with MA Dark, who established the business as a general store in 1877. The building is historically important as a set of retail buildings that date to 1896, 1900, and 1926, and in this regard the building is a record of the changes to the economic fortunes of the town over time. The Dark's building is of outstanding aesthetic importance at the local level and it occupies a prominent corner position in the main retail strip. The Dark's building is synonymous with the retail strip of Dungog and is valued by the local community as a landmark.

## 2.6 Courthouse, 86A Lord Street, Dungog

The Courthouse with a primary address of 86A Lord Street is a Victorian Style public building, which had an original L shape form. The properties architectural features include a corrugated iron hipped roof, with brick chimneys, and tall arched windows symmetrically placed. The detailing of the building is limited but does include upper pane mullions and large carved brackets on the eaves soffit. The host building was extended in the early 1900's and again with a more recent extension forming the north wing.<sup>4</sup>

The Courthouse was a courthouse for petty sessions and was established in 1833.

*Early courthouse and lock-p seem to have been located at corner of Dowling and Chapmen Streets. Originally Mounted Police Barracks converted by Government Architect, Mortimer Lewis, in 1849. James Barnet designed by Lt. Lieuward who also designed many Norfolk Island buildings.<sup>5</sup>*

## 2.7 Court House Hotel, Settlers Arms, 45 Brown Street, Dungog

*The Dungog Heritage Study notes that the hotel was constructed in 1848, making it one of the oldest continuously operating hotels in the Dungog LGA. It opened sometime in the 1850's, and was extended a number of times before 1900.<sup>6</sup>*

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<sup>4</sup> State Heritage Inventory

<sup>5</sup> State Heritage Inventory

<sup>6</sup> State Heritage Inventory



**Figure 19** Our History [undated].  
source: Settlers Arms

### Statement of Significance

*Court house Hotel is significant at the local level as a key historic building that contributes to the character of the township of Dungog. Located at a principle intersection at the corner of Lord Street and Brown Street, the building addresses both streets. One of the earliest buildings in Dungog (1848), the building is a key item of historical significance.<sup>7</sup>*

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<sup>7</sup> State Heritage Inventory

### 3. PLANNING AND HERITAGE CONTEXT

#### 3.1 Dungog Local Environmental Plan 2014

The subject site is listed in the LEP 2012 Schedule 5 as being partially within the Dungog Residential Precinct Heritage Conservation Area and partially within the Dungog Commercial Precinct Heritage Conservation Area.

There are a number of heritage items in the vicinity as follows:

Suburb	Item name	Address	Property description	Significance	Item no
Dungog	J A Rose Building	146–150 Dowling Street	Lot A, DP 66528	Local	I49
Dungog	Wade's Building	152–156 Dowling Street	Lots 24–26, DP 505479	Local	I50
Dungog	Christ Church and Hall	53 Dowling Street and 12 Chapman Street	Lots 712 and 713, DP 1116555	Local	I43
Dungog	HC Dark Building	182–190 Dowling Street	Lots 7–9, DP 859727	Local	I51
Dungog	Courthouse	86A Lord Street	Lot 7025, DP 1114463	Local	I66
Dungog	Court House Hotel	45 Brown Street	Lot 21, DP 733729	Local	I35

#### 5.10 Heritage conservation

##### (4) Effect of proposed development on heritage significance

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

##### (5) Heritage assessment

The consent authority may, before granting consent to any development—

- (a) on land on which a heritage item is located, or
- (b) on land that is within a heritage conservation area, or
- (c) on land that is within the vicinity of land referred to in paragraph (a) or (b),

require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.

In compliance with Clause 5, a Statement of Heritage Impact has been prepared to assess the impact that the proposed development will have on the significance of the Heritage Items in the vicinity and the Conservation Area.



### 3.2. DUNGOG DEVELOPMENT CONTROL PLAN 2014

#### 17. HERITAGE

##### 1. AIMS AND OBJECTIVES

The aims of this plan are:

- [a] to support the objectives of Dungog Shire Council's environmental planning instruments
- [b] to have regard for and to give effect within the Shire of Dungog to the principles enunciated in the Burra Charter (Australia ICOMOS, Canberra, 1999)
- [c] to have regard for and to give effect to the recommendations of the 1988 Dungog Shire Heritage Study and of the 1995 Dungog Main Street Heritage Study.
- [d] to enable the protection of buildings, works, archaeological sites, trees or places which are commonly known to have heritage significance but which are not described or shown within an environmental planning instrument.
- [e] to explain matters which must be considered by a consent authority when determining development applications under s79C of the Environmental Planning and Assessment Act 1979 (as amended)
- [f] to give guidance to applicants on matters which are to be considered by the consent authority in determining applications for development

##### 2. DEFINITIONS

Potential heritage item means any heritage conservation area, place, building, work, relic, tree, moveable object or precinct which is listed in Clause 9 or is identified in a register kept by the Council whose heritage significance has not been formally assessed but which should be considered for the purposes of any assessment under section 79C(1)(b) of the Environmental Planning and Assessment Act 1979 (as amended). It can include a site known by a consent authority to have heritage significance even if it is not so identified and shown on a map

##### 3. MATTERS TO BE CONSIDERED IN DETERMINING APPLICATIONS FOR DEVELOPMENT OF A HERITAGE ITEM OR IN A HERITAGE CONSERVATION AREA

3 (1) When determining an application for development of a heritage item or in a heritage conservation area, the consent authority must take into account the extent to which carrying out the proposed development will be consistent with the heritage conservation principles set out in:

- [a] the Burra Charter (Australia ICOMOS, Canberra 1999), reproduced in Schedule One of this plan, and

- [b] the Australian Natural Heritage Charter (Australian Committee for IUCN, Canberra 1997), reproduced in Schedule Two of this plan

3 (2) When determining an application for development of a heritage item or in a heritage conservation area, the consent authority must take into account the extent to which carrying out the proposed development will be consistent with the design guidelines contained in:

- [a] Annexure 5 of the Final Report of the Dungog Shire Heritage Study [Perumal Murphy Ltd [1988], as reproduced in Schedule Three of this plan.
- [b] Sections 3 and 4 of the Dungog Main Street Architectural Heritage Study (Otto Cserhalmi and Partners Pty Ltd and Knox and Partners Pty Ltd 1995), as reproduced in Schedule Four of this plan.

3(3) When determining an applications for development in any heritage conservation area, a consent authority must take into account any impacts of the proposed development on the physical character of the heritage conservation area and any features which give the area heritage significance, as described in Schedule Five of this plan.

#### **4 ADDITIONAL INFORMATION THAT MAY BE CONSIDERED IN DETERMINING APPLICATIONS FOR THE CONSTRUCTION OF BUILDINGS WITHIN A HERITAGE ITEM OR IN A HERITAGE CONSERVATION AREA**

When determining an application for development of a heritage item or in a heritage conservation area that will involve the construction of a building an applicant should supply, in addition to information required to be supplied with all development applications, photographs and/or elevations and a completed building assessment form that will enable the consent authority to assess how a proposed development will relate visually to buildings already on the land subject to a development application and on land in the vicinity of the development.

#### **5 POTENTIAL HERITAGE ITEMS**

When determining an application for development of a heritage item or in a heritage conservation area, a consent authority must consider the extent to which the carrying out of the proposed development will affect any Potential Heritage Items which are listed in Schedule Six of this plan.

#### **6 FURTHER MATTERS TO BE CONSIDERED IN DETERMINING APPLICATIONS FOR DEVELOPMENT IN A HERITAGE CONSERVATION AREA**

When determining an application for development in any heritage conservation area, a consent authority must take into account any impacts of the proposed development on the physical character of the heritage conservation area and any features that give the area heritage significance.

## 4 STATEMENT OF SIGNIFICANCE

Extract from the Dungog DCP – Part C:

### 9.2 DUNGOG COMMERCIAL PRECINCT HERITAGE CONSERVATION AREA

#### *Statement of significance*

*This area is significant for the Lower Hunter region for a built character which has remained largely intact since the Second World War and which reflects the long history of development in Dungog as an important country town within the lower Hunter region. This character is derived particularly from the continuity of facades which are mainly single storeyed with high parapets along Dowling Street, and building styles which are mainly from the first four decades of this century. A lack of pressures for new development (including renovations) has enable the survival of many interwar buildings with original details such as lead-glass shop fronts and post supported verandahs in the northern section.*

#### *Generalised description*

*The built character of Dungog's commercial precinct is one of low density and modest scale. While the precinct has a sense of enclosure it is also one from which there are many views of the surrounding countryside. Because of its elevated nature the rear elevations of buildings can readily be seen from a number of viewing points. The precinct has no real focal point other than the Dowling Street/Hooke Street intersection with its Obelisk but it contains a number of landmark buildings and many more modest buildings that make important contributions to the character of the precinct.*

*The area is notable for its apparent continuity of facades. Most of the buildings are commercial ones built to the street frontage but there are some residential buildings which are set back slightly. Separations are narrow, often being narrow laneways from Dowling Street to the rear of buildings. Commercial buildings have restricted and functional rear yards while residential buildings have lightly improved large yards, often backing onto open rough-grassed areas. Commercial buildings are mainly single storeyed shop buildings with high parapets giving the street frontage a 'long and low' appearance that is accentuated by many shop buildings having two or more shop fronts (the shops in these buildings are generally narrow and deep). There are two storeyed commercial buildings, several with attached residences and several imposing two-storeyed house buildings.*

*Although there are earlier and post World War II buildings in the area most buildings date from the early twentieth century or between the wars. Some older buildings were significantly altered in the interwar period. There are fine examples of late Victorian through to 1930s residential and commercial buildings and the well-preserved rows of single storeyed shop buildings are especially notable in this regard. Reflecting their era, roofs are medium to high pitched, typically of unpainted (often rusting) galvanised iron, though tiles are common in interwar buildings. Walls are extensively of brick or rendered masonry often painted on the street frontage. Many interwar shop fronts appear to be original and there are examples of early advertising signage on walls. Some early brick paving also remains in footpaths. The maintenance of many building facades, especially to their rear, has been sadly neglected. The unusually wide post-supported low-pitched skillion awnings on older shop facades and back supported awnings on interwar facades are special features of this precinct. The street lighting*

*and illuminated signage both under shop awnings and above these awnings is somewhat intrusive but most signage is painted and sympathetic to the early to mid-twentieth century character of the area.*

### **9.3 DUNGOG RESIDENTIAL PRECINCT HERITAGE CONSERVATION AREA**

#### **Statement of significance**

*This area is significant for Dungog because of its built character which reflects the evolution of Dungog as a town and which presents a dramatic contrast with its rural setting when viewed from Hospital Hill. Though there are a few nineteenth century buildings the predominant built form is detached, single- storeyed dwellings in double-fronted post- federation and inter-war bungalow styles, which are modest in dimensions and landscaping.*

#### **Generalised description**

*The area contains mainly half-acre lots from the early subdivision of grid layout town blocks (most of Dungog's smaller, more recently surveyed, allotments lie outside the heritage conservation areas). Most of the residential development in the area dates from the first half of this century after town water and sewerage became available and when population growth was sustained. Building densities are as low as five dwellings per hectare in some town blocks which, with limited landscaping except in front yards, gives rise to the open character of a small country town.*

*Dwellings have modest separations and setbacks from the streets are modest and similar for all dwellings, giving a regularity of facades. Overwhelmingly dwellings are single storeyed and modest in footprint though some federation and later bungalows, mainly along Dowling Street, are larger than standard. Reflecting their predominantly interwar and earlier ages, roofs are medium to steep pitched, generally with gables facing the street and of galvanised iron (often unpainted), with some ceramic tile roofs. Modern colorbond, zincalume and cliplock roofs are generally confined to the skillion roofs of extensions to the rear of houses. Chimneys are commonly to the side of houses. Walls are typically built to a three metre ceiling stud, generally clad in weatherboard (though older houses have masonry walls). There has been some use of inappropriate materials such as fibro weatherboards for recladding. Windows tend to be 'tall' double hung sash or side-opening casement style but inappropriate aluminium sliding windows are in evidence. Most houses have open verandahs, generally modest in their size and in the nature of their balustrades and detailing. Landscaping around dwellings tends to be minimal, with modest formal front gardens and unimproved larger rear yards. Fencing is in a variety of materials which includes palings and pickets, wrought iron and masonry, and also intrusive modern colorbond and weldmesh. Streets are paved with grassed verges, often without formed kerbs and gutters. There are some mature street trees but street plantings generally are not well established. Power and phone infrastructure is highly visible.*



## 5. PHYSICAL DESCRIPTION

### 5.1 Context

- a. The subject site is located at 28 Brown Street, Dungog, which is partially within the Dungog Commercial Precinct and partially within the Dungog Residential Precinct, both of which are of Local Significance.
- b. The subject site includes an existing masonry building with a tiled roof and an existing lightweight clad rear addition with a corrugated metal roof.
- c. The property has a street front verandah spanning the entire front elevation with pedestrian access to the verandah located to the east (left) of the building and the front door located centrally beneath the verandah.
- d. The property has an existing concrete driveway leading to an existing lightweight clad double garage located along the western boundary.
- e. The site is located to the eastern section of Brown Street between Lord Street and Dowling Street.
- f. There are a number of Heritage Items within the vicinity surrounding the building as previously described.

### 5.3 Summary Condition and Fabric (DEC, 2024)

#### Exterior







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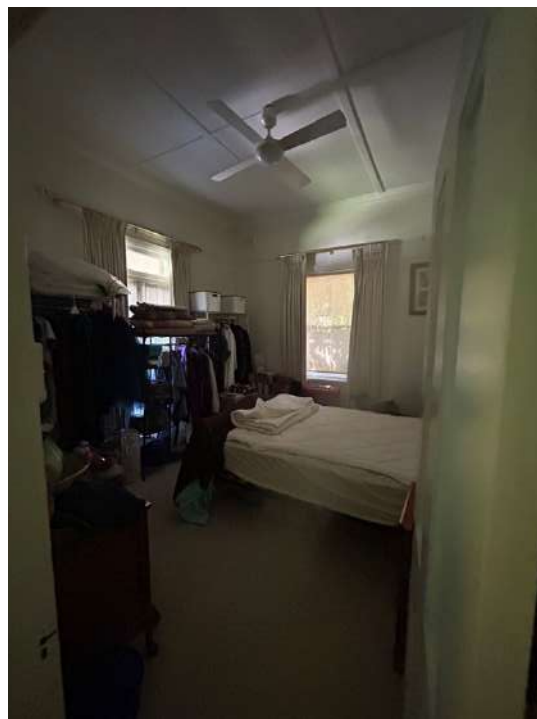
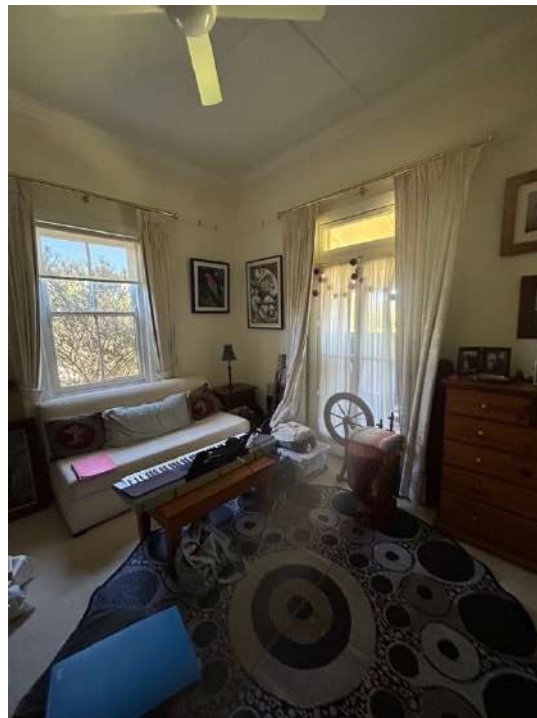






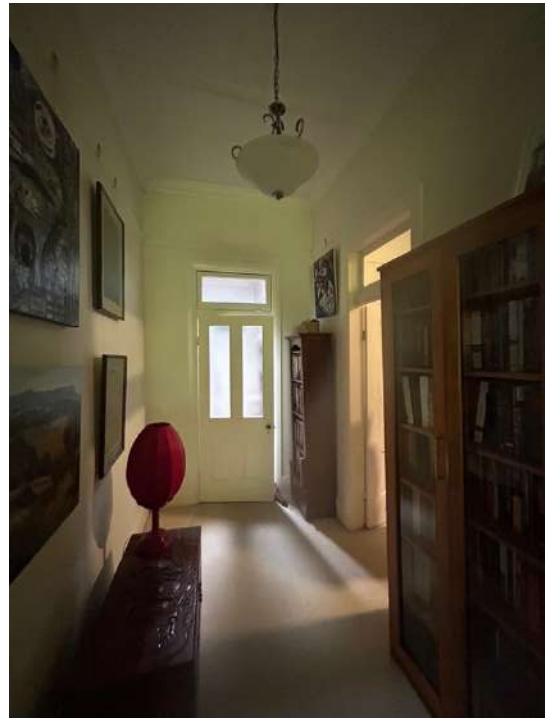
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28 Brown Street, Dungog

Interiors

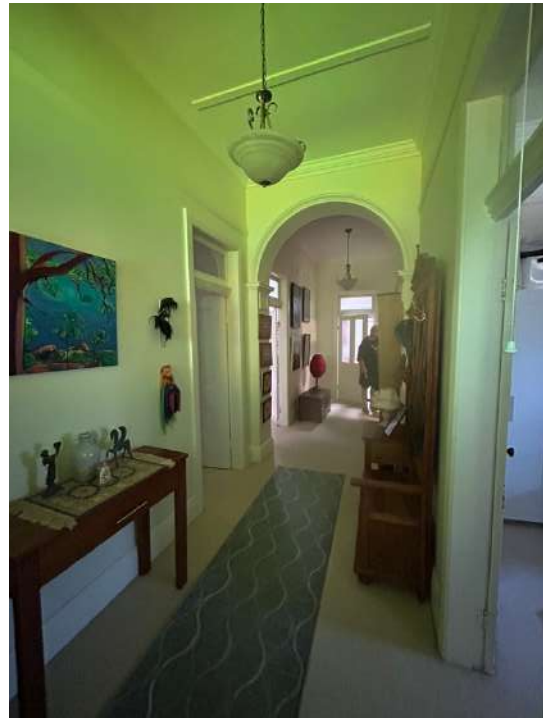


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28 Brown Street, Dungog



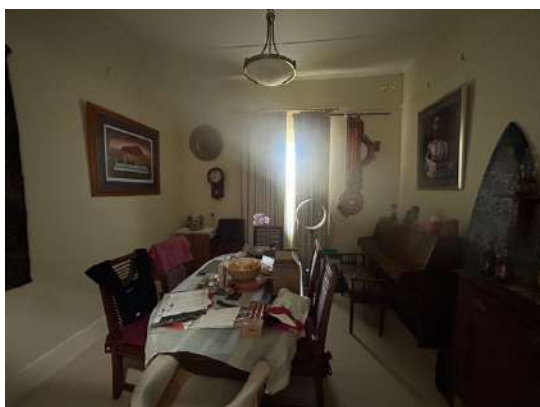
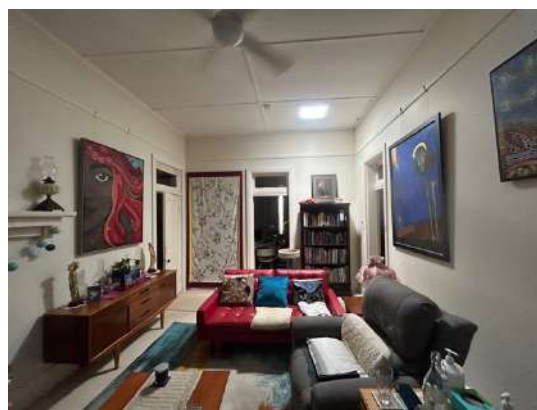
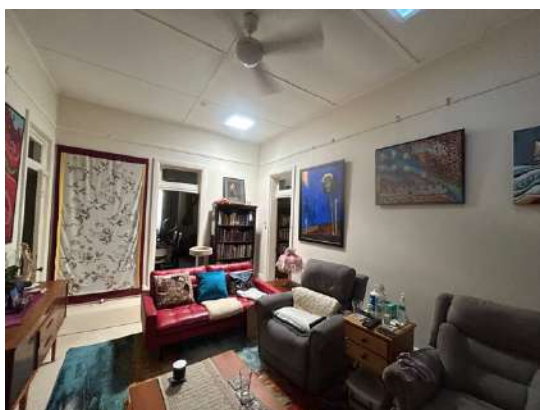




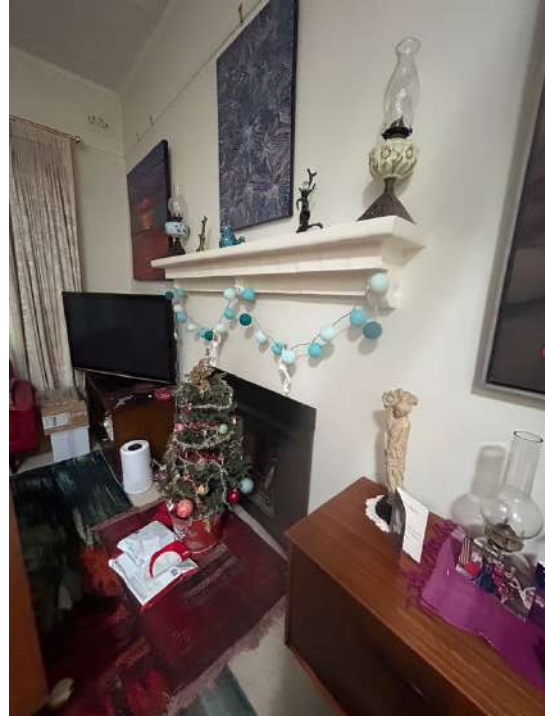


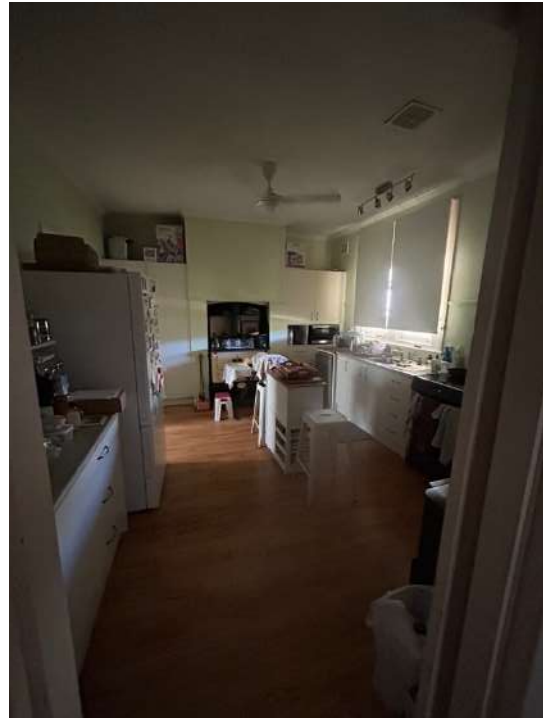
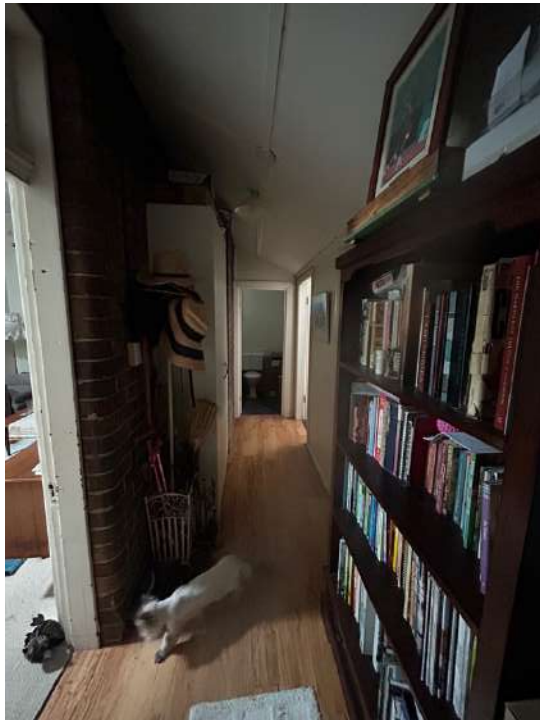


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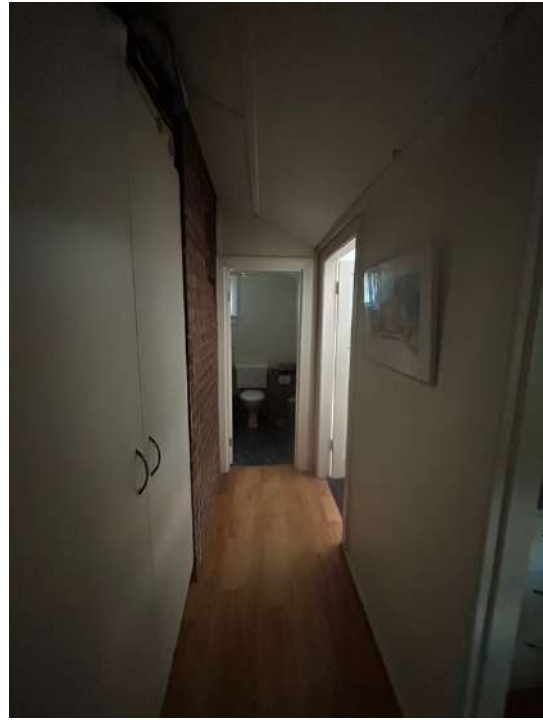


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28 Brown Street, Dungog

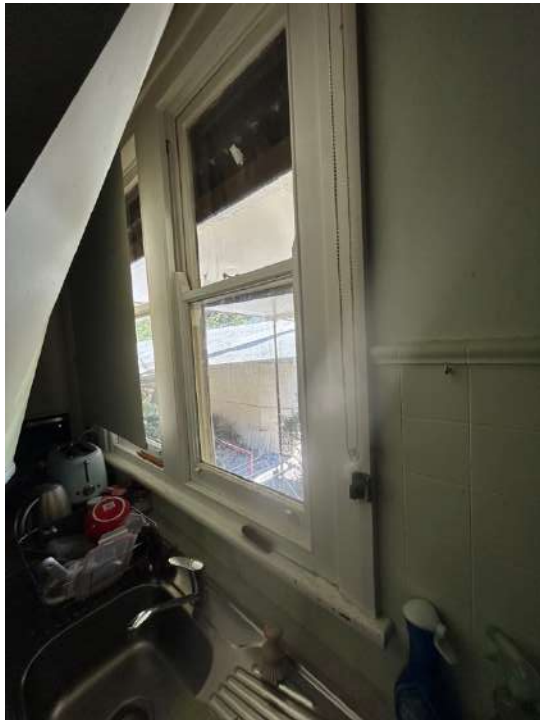












## 6. THE PROPOSAL

### 6.1 Introduction

- a. The proposal is for a new rear addition to the existing dwelling with a simple skillion roof in order to create the additional space needed by the owners.
- b. The proposal includes the removal of the existing rear additions with retention of the existing dwelling, creating a link between the host property and the proposed rear addition.
- c. The proposed rear addition will house a new open plan kitchen and dining room and bathroom, which better meets the needs of the owners.
- d. The existing detached garage and sheds shall be retained in their current positions.
- e. There are no proposed changes to the existing driveway.
- f. There are no proposed changes to the internal layout and fabric of the host property.
- g. There are no proposed changes to the front of the host property. With all street facing views to remain unchanged.
- h. The proposal include the addition of a new low – medium height timber paled boundary fence.

### 6.2 Documents

This statement was prepared in conjunction with the DA drawings. It is our professional practice to review all design work before finalising the Statement of Heritage Impact and to recommend changes if required in order to make the proposal more appropriate in the heritage context.

Documents reviewed in preparation of this Heritage Impact Statement were prepared by LVA:

Page No	Description	Revision	Date
DA_010	TITLE PAGE	A	10/02/25
DA_050	EXISTING SITE CONDITIONS		
DA_070	EXISTING & DEMOLITION		
DA_100	SITE PLAN- PROPOSED		
DA_110	GROUND FLOOR PLAN – PROPOSED		
DA_120	ROOF PLAN – PROPOSED		
DA_201	GA SECTIONS – PROPOSED		
DA_301	GA ELEVATIONS – PROPOSED – 01		
DA_302	GA ELEVATIONS – PROPOSED – 02		
DA_401	STORMWATER & SEDIMENT CONTROL PLAN		
DA_402	DRAINAGE PLAN		
DA_701	MATERIAL SCHEDULE		

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28 Brown Street, Dungog

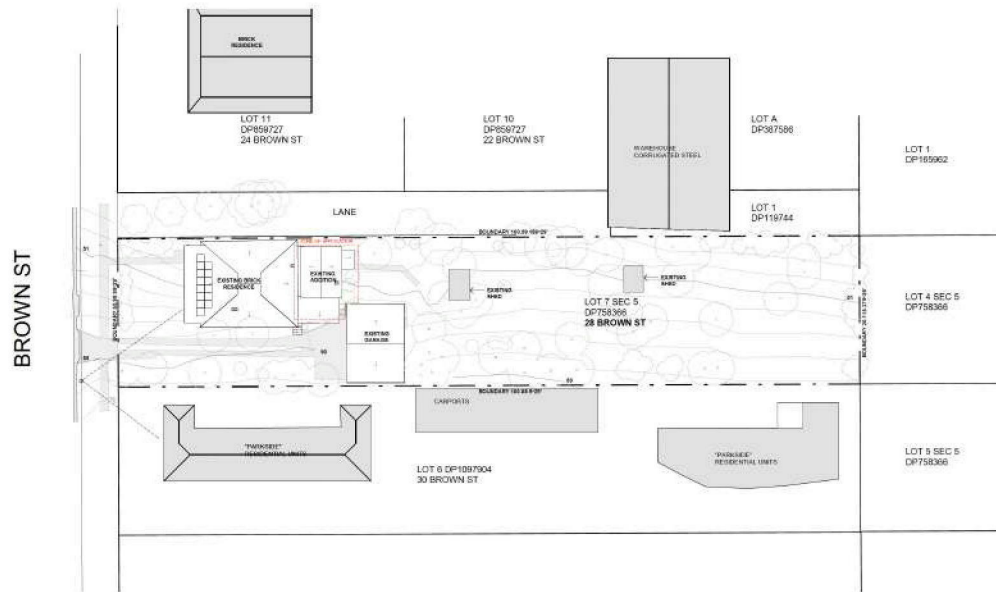
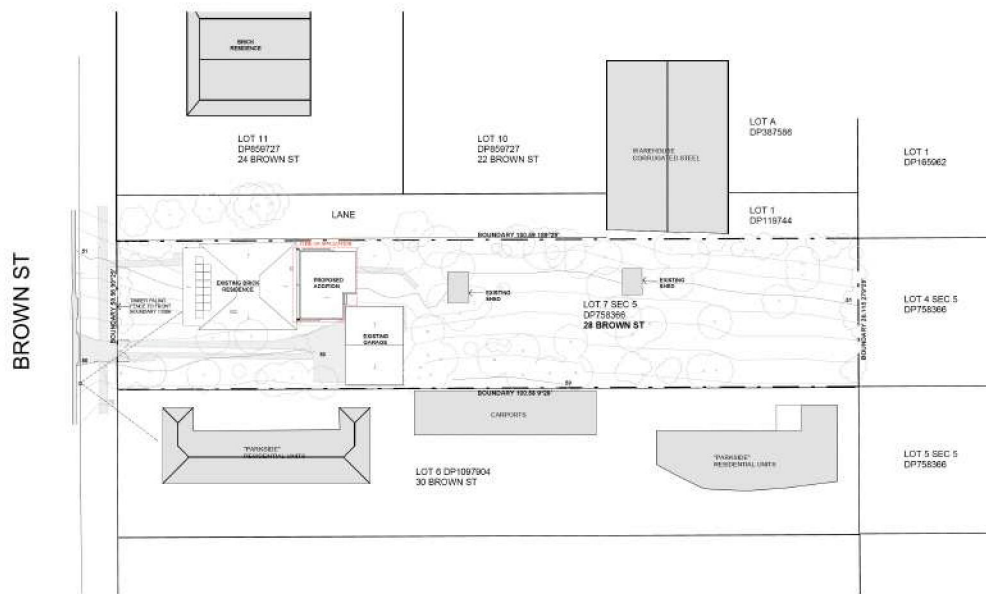


Figure 20 EXISTING SITE PLAN  
source LVA

Figure 21 EXISTING\_DEMOLITION PLAN  
source LVA

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**Figure 22** SITE PLAN\_PROPOSED  
source LVA

**Figure 23** GROUND PLAN\_PROPOSED  
source LVA



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28 Brown Street, Dungog

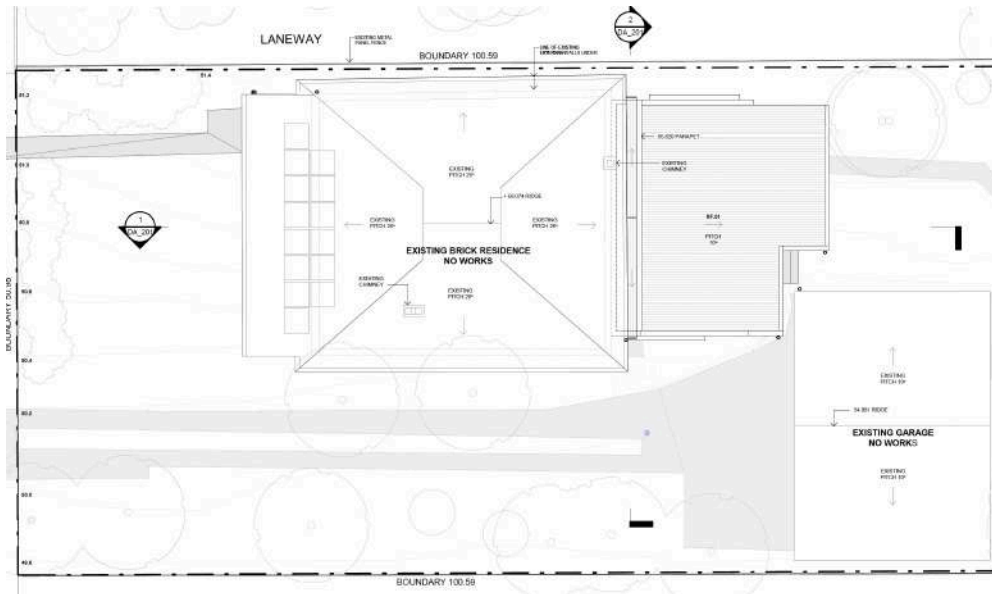
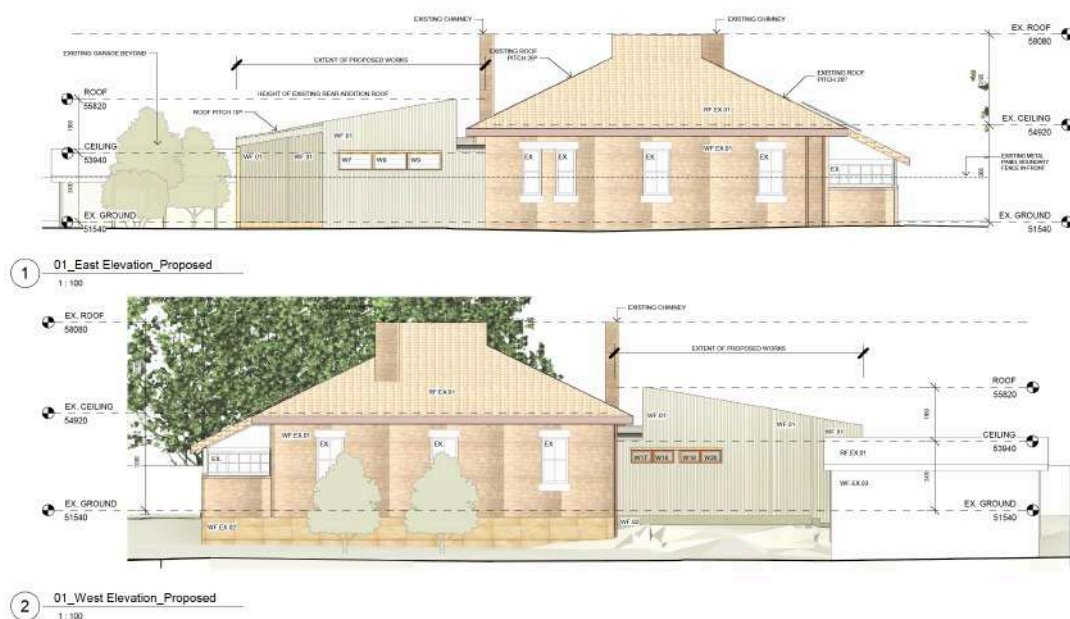


Figure 24 ROOF PLAN  
source LVA



Figure 25 ELEVATIONS  
source LVA



**Figure 26** ELEVATIONS  
source LVA

## 7. ASSESSMENT OF IMPACT

### 7.1 Identification of Impacts

- a. Potential impacts arising from the proposed development include:
  - impact of proposed new work on the streetscape and Heritage Items in the vicinity
  - impact on views and the setting of the Dungog Residential and Commercial Precinct Heritage Conservation Areas.
- b. This Statement of Heritage Impact analyses the extent of these potential impacts and the measures taken to mitigate any negative impacts. The assessment of impact is based on the policies and guidelines of the relevant planning instruments.

### 7.2 Assessment of Impacts

- a. The resultant proposal is considered to be sympathetic to the host building, facilitating necessary upgrades and maintenance to the dwelling whilst taking the opportunity to remove or reconstruct intrusive elements in order to improve the presentation of the place as a whole whilst ensuring that significance of the property within the Conservation Area is maintained.
- b. The site is located centrally within the R1 General Residential zone and along the southern side of Brown Street.
- c. The existing dwelling shall be retained in its entirety and remain largely unaltered. The existing rear addition has retained the rear wall of the original dwelling as well as doorways and thresholds, these will continue to be retained with the proposed rear addition which is positive.
- d. The rear addition to the original dwelling shall be removed with the proposed new addition being formed with a smaller overall mass than that of the existing rear addition which is positive.
- e. The existing rear addition is falling into disrepair and does not contribute to the Conservation Area in its current presentation. This element is of no significance and its removal should be supported.
- f. There are no proposed changes to the existing host property.
- g. The rear masonry wall and fireplace of the original dwelling shall be retained as part of the proposal which is positive.
- h. Architect Note: *The original rear masonry wall is retained in current condition and revealed in entirety as a new finish of the proposed addition. The existing step in the masonry wall forms the rear enclosure to the original fireplace serving the existing living room. This is retained in the current form and utilised as the new backing surrounding hearth to the relocated Waterford Stanley Wood Cookstove retained from the existing kitchen.*
- i. The proposal retains the existing roof and chimneys which is positive.
- j. The proposed alterations shall not compromise the significance of the existing building, its curtilage or setting.

**Statement of Heritage Impact**

28 Brown Street, Dungog

- k. The proposal includes the addition of a new front boundary low to medium height timber paling fence. The proposed height of the fencing is 1100mm. The proposed fence is a simple contemporary design that does not detract from the host property or the conservation area, which is positive.
- l. The owners of the property are historians and managed to find a historic photograph of the property. The photograph shows the property with a low to medium height front boundary fencing. The proposed fence is a sympathetic representation of the properties original character. The designer has taken care into designing a fence that is sympathetic to the history of the property without mimicking the original design, distinguishing the fence as a later addition. Please refer to the image below.



**Figure 27** 28 Brown Street, Dungog. Historical Image  
source Provided by Elizabeth Raine and John Squires. Current Property Owners.

**Rear Addition**

- a. The proposed addition has been designed as a simple contemporary structure behind the existing dwelling with a small link element to further distinguish the separation of the host property and rear addition whilst maintaining internal access between the two buildings.
- b. The proposed rear addition has been sympathetically designed in order to respond to the form and scale of the existing whilst not mimicking or dominating it. The proposal presents as a simple rear addition in replacement of the existing rear addition.
- c. The proposed rear addition is a simple contemporary form with a skillion roof. The design has been carefully considered to ensure that the building elements, roof pitches and the width of roof plane elements do not exceed that of the original cottage.
- d. The proposed addition does not add visual noise to the western and southern boundary of the property, but rather simplifies and improves upon the existing rear addition which is positive.



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- e. The proposed addition has been located so that the dwelling retains its integrity and remains the dominant building on site.
- f. The length and width of the new addition is significantly less than the existing house which will make sure the new section presents as a diminutive element.
- g. The proposed windows and doors within the new addition will be timber framed and vertically proportioned with a frame width and profile that is sympathetic to the existing windows and doors of the host property and the conservation area, which is positive.
- h. The height of building is appropriate, remaining well below the existing roof pitch. Although it would normally be recommended to match the pitch of the host property, the proposed pitch allows for a lower apex. The lower roof pitch is separated from the main roof pitch by a lower pitched link roof, which allows the height and mass to be reduced which is positive.
- i. The proposed roof is mostly concealed behind the principal dwelling with an apex that falls below the existing, reducing any potential visual impact or detracting, and rather presenting as a sympathetic integration, ensuring that the original cottage remains the dominant feature within the street.
- j. The proposed rear addition has a side setback from the western and eastern elevations of the host dwelling, reducing the visual impact from the street and further presenting a diminutive form within the sites context which is positive.
- k. Minimal excavation or cut and fill is proposed, limited to the necessary footings of these small additions. This shall minimise any disturbance of the natural landform as much as possible.
- l. The roof form of the original cottage shall be retained, intact and distinguishable from new work. The roofing material of the proposal shall be a medium grey colour which presents as sympathetic to the surrounding conservation area.
- m. Regarding ancillary development, no air conditioning installations are proposed and as such there shall be no external air conditioning units. Rainwater tanks shall be aligned with or behind the proposed rear addition, obscuring them from view, which is positive.

### 7.3 Views and Settings



Looking from the front verandah across Brown Street in a northerly direction.



Looking from Brown Street toward the property in a southerly direction.



Looking from Brown Street along the existing driveway toward the rear of the property in a southerly direction.



Looking from across Brown Street toward the property in a southerly direction.



Looking from across Brown Street toward the property in a south easterly direction. The green arrow points toward the subject property.



Looking from across Brown Street toward the property in a south westerly direction. The green arrow points toward the subject property.

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Looking from the southern boundary of Heritage item 45 Brown Street, Dungog known as "Court House Hotel", along Brown Street toward the property in a south westerly direction.



Looking across Brown Street toward the property in south easterly direction. The green arrow points toward the subject property.



Looking from the intersection of Brown Street and Dungog Street adjacent to 198 Brown Street toward the property in a south easterly direction.



Looking from the properties front boundary in an easterly direction along Brown Street. The green arrow points toward Heritage item 45 Brown Street, Dungog known as "Court House Hotel".



Looking from the properties front boundary directly across the road in a northerly direction.



Looking from the properties front boundary toward Dowling Street in a westerly direction.



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Looking toward the rear eastern boundary fence toward the property 160 Dowling Street. The green arrow points toward the property 160 Dowling Street. To the right of the image is the location of Heritage Items 152 - 156 Dowling Street, known as "Wades buildings", which is completely obscured from view by the existing vegetation.



Looking from within the rear garden in the direction of Heritage Items 152 – 156 Dowling Street and 146 Dowling Street, known as "J A Rose Building". As can be seen from the image all views to the Heritage Items are obscured from view by the existing vegetation.



Looking from within the rear garden toward the western boundary fence toward the neighbouring property 30 Brown Street.



Looking from within the rear garden toward the western and southern boundary fence toward the neighbouring properties 17 Mackay Street and 30 Brown Street.



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Looking from within the rear garden toward the western boundary fence toward the neighbouring property 30 Brown Street.



Looking from within the rear garden toward the western boundary fence toward the neighbouring property 30 Brown Street.



Looking from the property toward the western boundary fence toward the neighbouring property 30 Brown Street.

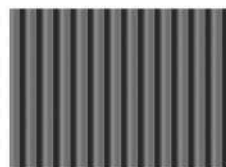


Looking from the property toward the western boundary fence toward the neighbouring property 30 Brown Street.

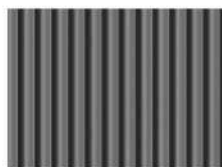
- a. There are no significant views that will be affected by the proposed development.

## 7.4 Materials and Colours

- a. There are no proposed changes to the colour and materials of the host property with any unforeseen repair or restoration works to match existing in all aspects.
- b. The roof colour is to be a medium grey in a Custom Orb profile that complements the existing roof colour and minimises glare to the surrounding buildings whilst referencing traditional corrugated galvanised roof sheeting.
- c. The proposed windows and larger sliding doors within the rear addition are to be timber framed with a profile that it is sympathetic to the host properties original windows which is positive.
- d. The following are the proposed materials and finishes selection for the rear addition, which present as sympathetic to the host property and the conservation area.



External Walls (WF-01)  
Colorbond Custom Orb  
Accent 21  
Colour: Mid Grey (TBC)



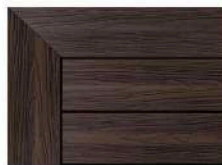
Roof Cladding (RF-01)  
Colorbond Custom Orb  
Accent 21  
Colour: Mid Grey (TBC)



Floor Finish - Internal (FF-01)  
Polished Concrete -  
Colour: Silver, Mid Grey (TBC)



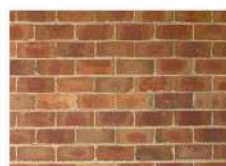
Doors & Windows  
Hardwood Timber  
Colour: (TBC)



Floor Finish - External (FF-02)  
Composite Timber Decking  
Elodeck Decking Designer  
Colour: Dark Brown



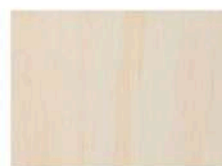
Windows  
Hardwood Timber  
Colour: (TBC)



Existing External Walls (WF.EX.01)  
Brickwork Finish



Existing Roofing (RF.EX.01)  
Terracotta/Clay Tile



Internal Ceilings (WF.04)  
Plywood - Clear Powder Coated

## 8. RECOMMENDATIONS AND CONCLUSIONS

The following conclusions are made based on the assessment of heritage impact:

- a. The new work proposed does not detract from the character of Dungog Residential or Commercial Precinct Heritage Conservation Areas or Heritage Items in the vicinity.
- b. The potential for impact is significantly limited due to the minor nature and reversibility of the proposed work.
- c. This report shall be read in conjunction with the final development application drawings and Statement of Environmental Effects.
- d. The final assessment is that based on the considerations within this Statement of Heritage Impact, the proposal should be approved.



Jason Penhall  
**CONTEMPORARY HERITAGE**



Jadine Penhall

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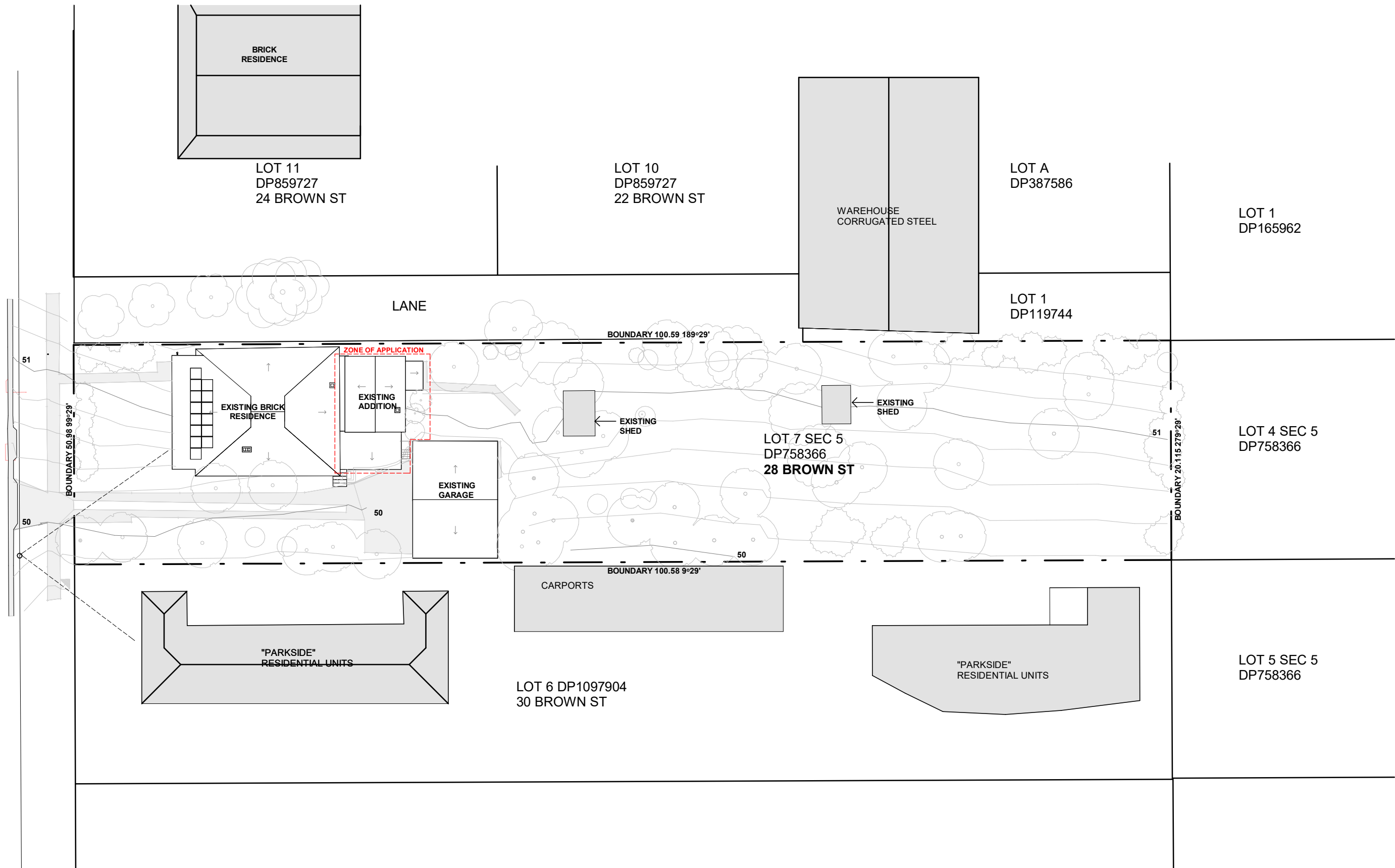
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BROWN ST



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Lot. 7 Sec 5 DP 758366  
28 BROWN ST DUNGOG NSW 2420

PROJECT

ALTERATION & ADDITION TO EXISTING DWELLING

CLIENT

ELIZABETH RAINE & JOHN SQUIRES

DRAWING TITLE

EXISTING SITE CONDITIONS

DRAWING No.

DA\_050

PROJECT No.

2407\_050

REV.

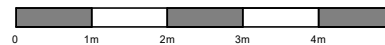
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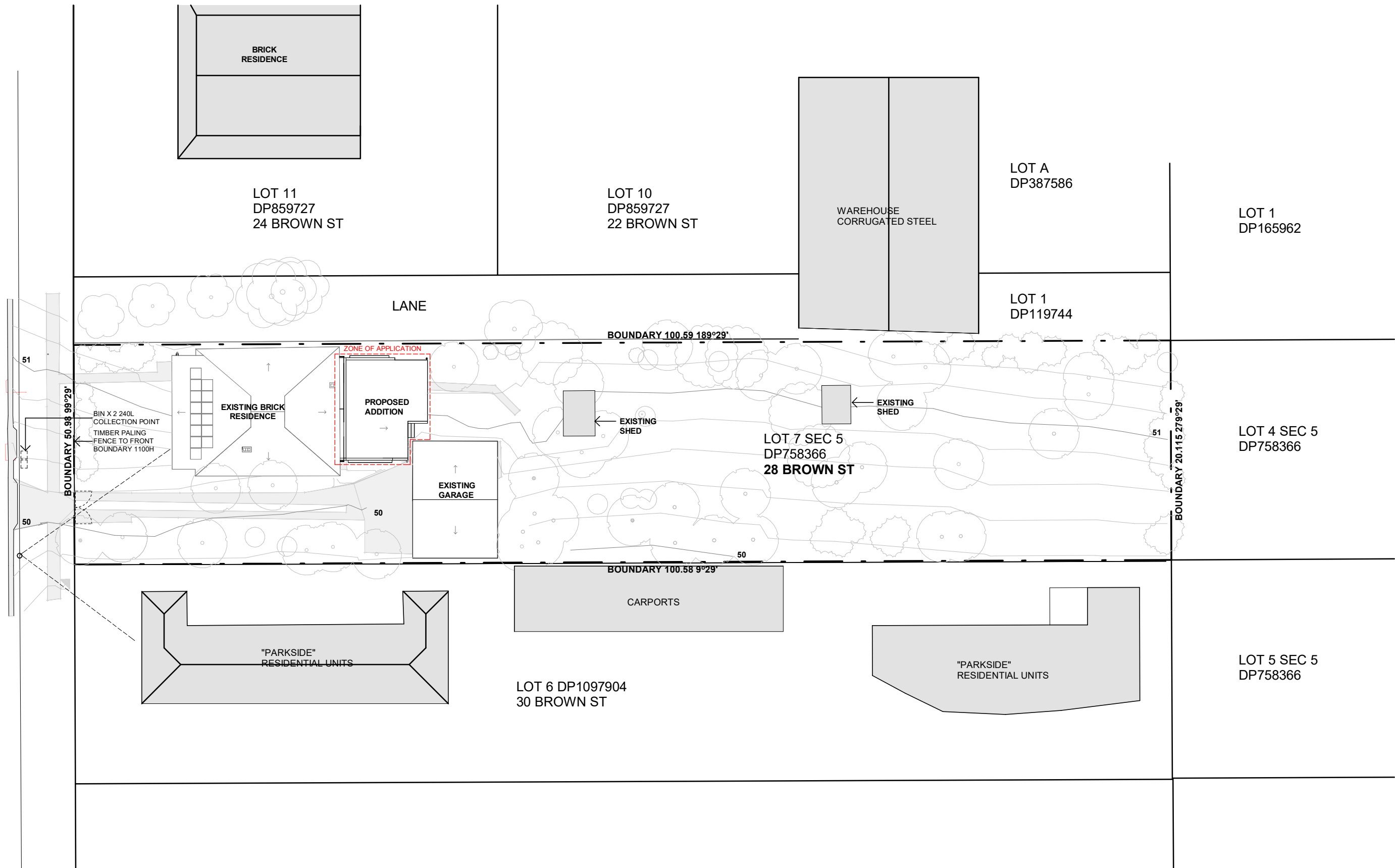


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ALTERATION & ADDITION TO EXISTING DWELLING

CLIENT

ELIZABETH RAINE & JOHN SQUIRES

DRAWING TITLE

SITE PLAN

DRAWING No.

DA\_100

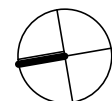
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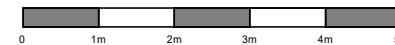
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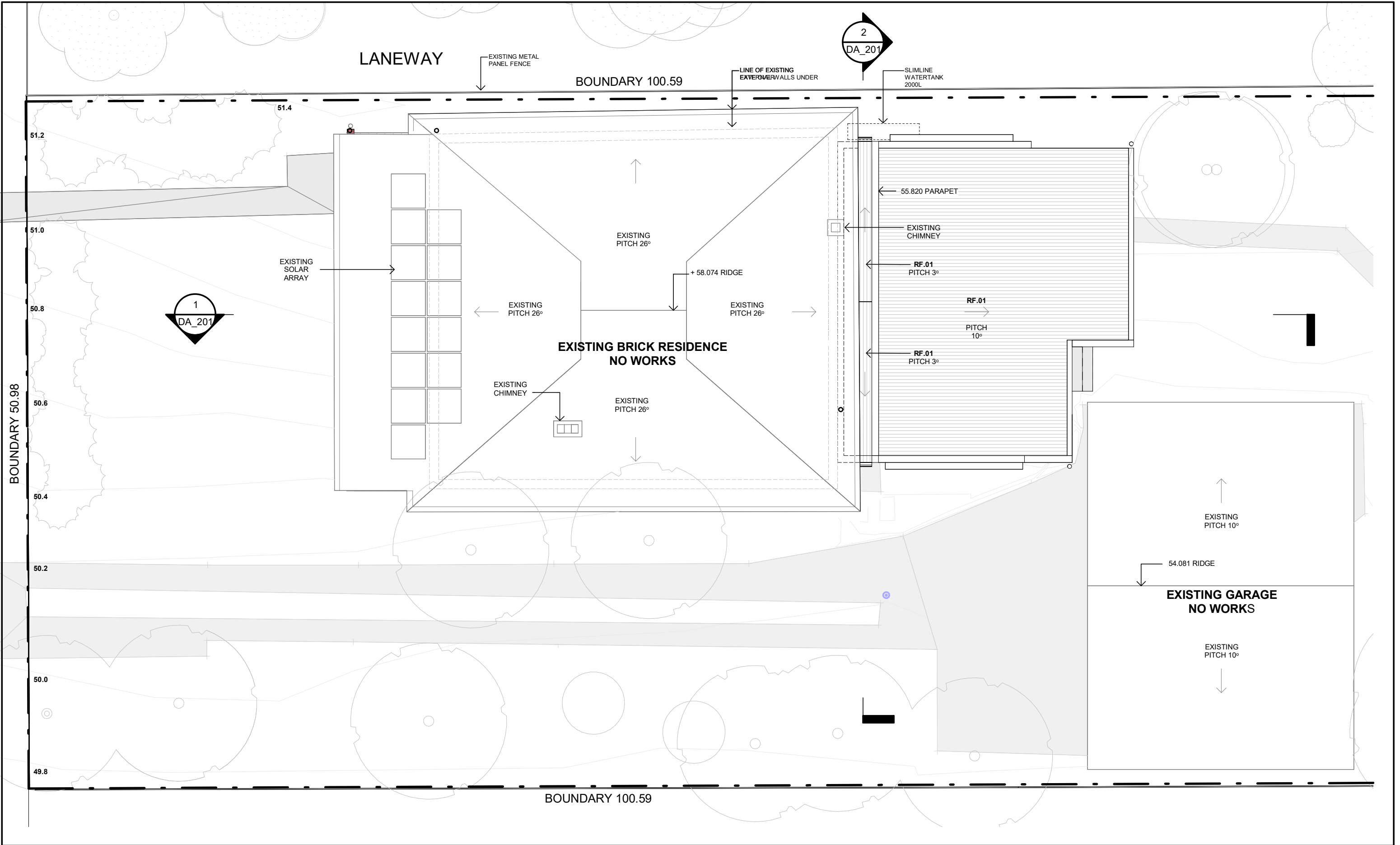
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No.	Description	Date
A	FOR DEVELOPMENT APPLICATION	18.03.2025

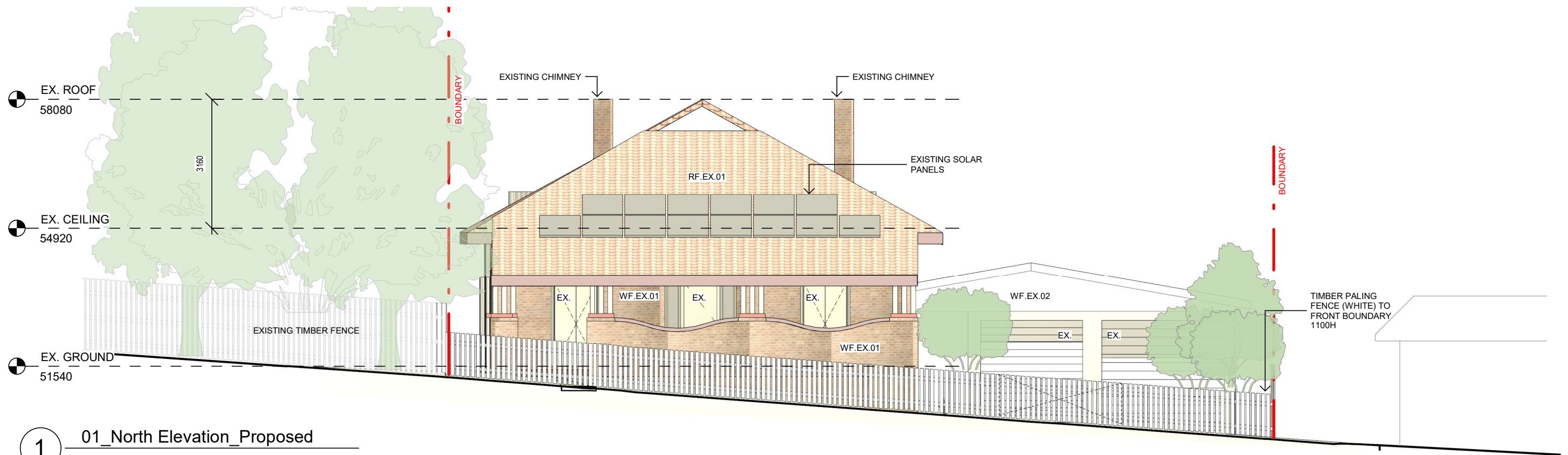
**ADDRESS**  
Lot. 7 Sec 5 DP 758366  
28 BROWN ST DUNGOG NSW 2420  
**PROJECT**  
ALTERATION & ADDITION TO EXISTING DWELLING  
**CLIENT**  
ELIZABETH RAINE & JOHN SQUIRES

**DRAWING TITLE**  
ROOF PLAN  
**DRAWING No.**  
DA\_120  
**PROJECT No.**  
2407\_050

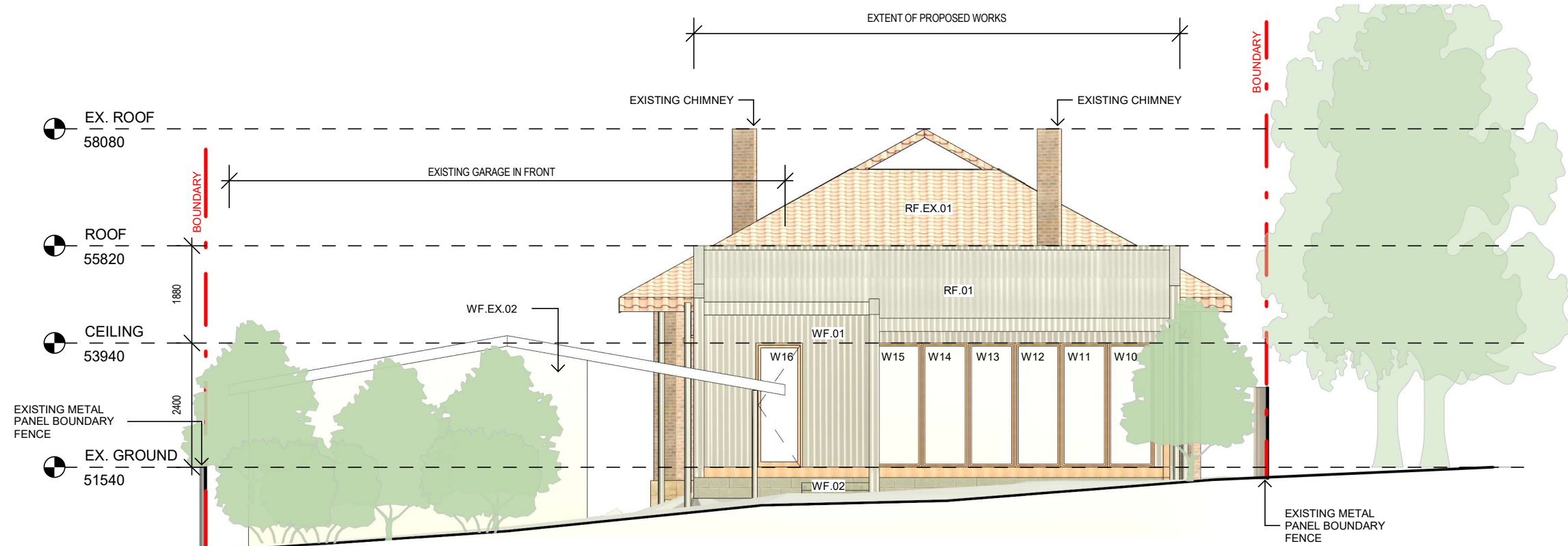
**REV.**  
A

**SCALE**  
1 : 100

**NORTH**



1 01\_North Elevation\_Proposed  
1 : 100



2 01\_South Elevation\_Proposed  
1 : 100



LAURA VALLENTINE ARCHITECT

ABN 83 259 118 965  
NOMINATED ARCHITECT NSW 9262

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ADDRESS

Lot. 7 Sec 5 DP 758366  
28 BROWN ST DUNGOG NSW 2420

PROJECT

ALTERATION & ADDITION TO EXISTING DWELLING

CLIENT

ELIZABETH RAINE & JOHN SQUIRES

DRAWING TITLE

GA ELEVATIONS - SHEET 01

DRAWING No.

DA\_301

PROJECT No.

2407\_050

REV.

A

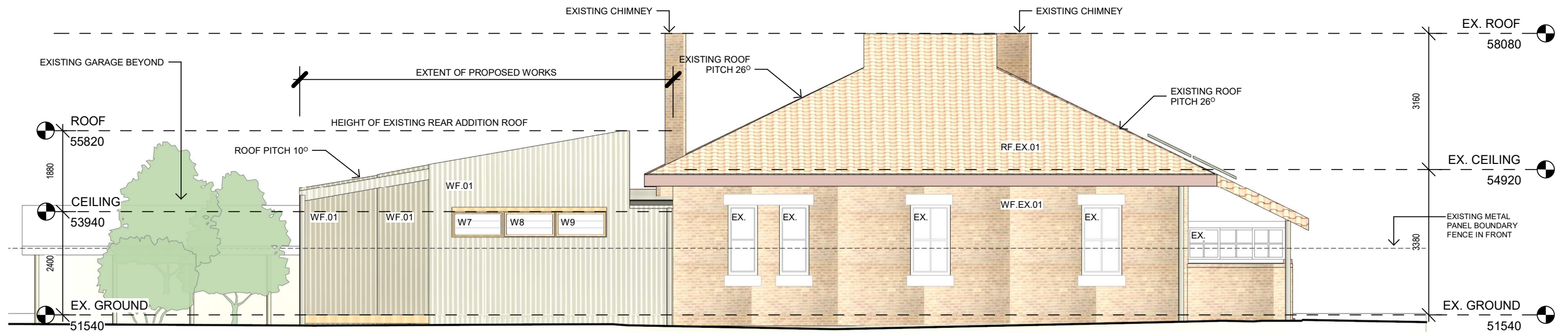
NORTH

SCALE

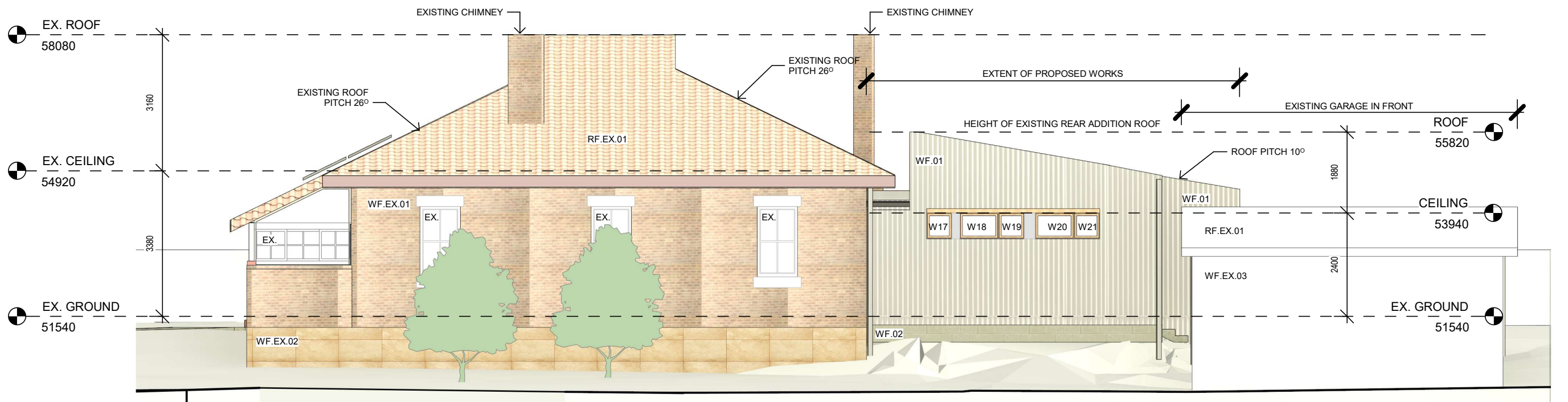
1 : 100







1 01\_East Elevation\_Proposed  
1 : 100



2 01\_West Elevation\_Proposed  
1 : 100



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ADDRESS

Lot. 7 Sec 5 DP 758366  
28 BROWN ST DUNGOG NSW 2420

PROJECT

ALTERATION & ADDITION TO EXISTING DWELLING

CLIENT

ELIZABETH RAINE & JOHN SQUIRES

DRAWING TITLE

GA ELEVATIONS - SHEET 02

DRAWING No.

DA\_302

PROJECT No.

2407\_050

REV.

A

NORTH

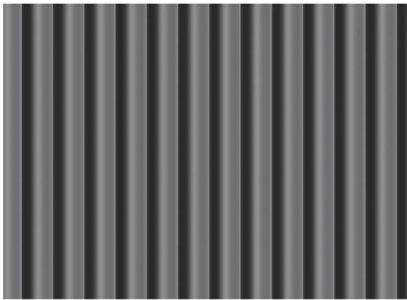
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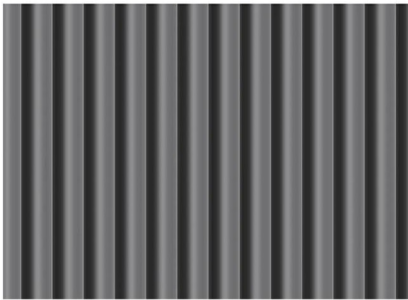




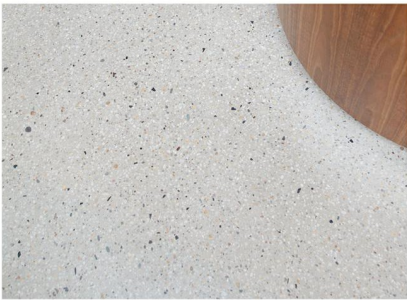
MATERIALS SCHEDULE



External Walls (WF-01)  
Colorbond Custom Orb  
Accent 21  
Colour: Mid Grey (TBC)



Roof Cladding (RF-01)  
Colorbond Custom Orb  
Accent 21  
Colour: Mid Grey (TBC)



Floor Finish - Internal (FF-01)  
Polished Concrete -  
Colour: Silver, Mid Grey (TBC)



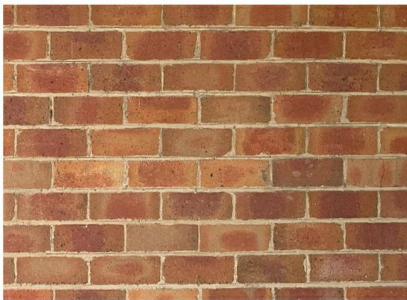
Doors & Windows  
Hardwood Timber  
Colour: (TBC)



Floor Finish - External (FF-02)  
Composite Timber Decking  
Ekodeck Decking Designer  
Colour: Dark Brown



Windows  
Hardwood Timber  
Colour: (TBC)



Existing External Walls (WF.EX.01)  
Brickwork Finish



Existing Roofing (RF.EX.01)  
Terracotta/Clay Tile



Internal Ceilings (wF.04)  
Plywood - Clear Powder Coated

PRECEDENTS



1. **Brown St Workshop** - consistent material treatment for both external walls and roof unifies the addition as a single element form

2. **Brown St Workshop** - deep recesses protecting timber windows and doors create moments of visual activity within a utilitarian and simple workshop form

3. **Brown St Workshop** - timber details to glazed elements within the facade form defines the addition as an element comfortable 'in its landscape'; creating a recessive expression within the primary elements of existing main house and garden.



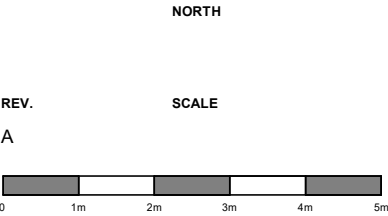
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ADDRESS  
Lot. 7 Sec 5 DP 758366  
28 BROWN ST DUNGOG NSW 2420  
PROJECT  
ALTERATION & ADDITION TO EXISTING DWELLING  
CLIENT  
ELIZABETH RAINE & JOHN SQUIRES

DRAWING TITLE  
MATERIALS SCHEDULE  
DRAWING No.  
DA\_701  
PROJECT No.  
2407\_050





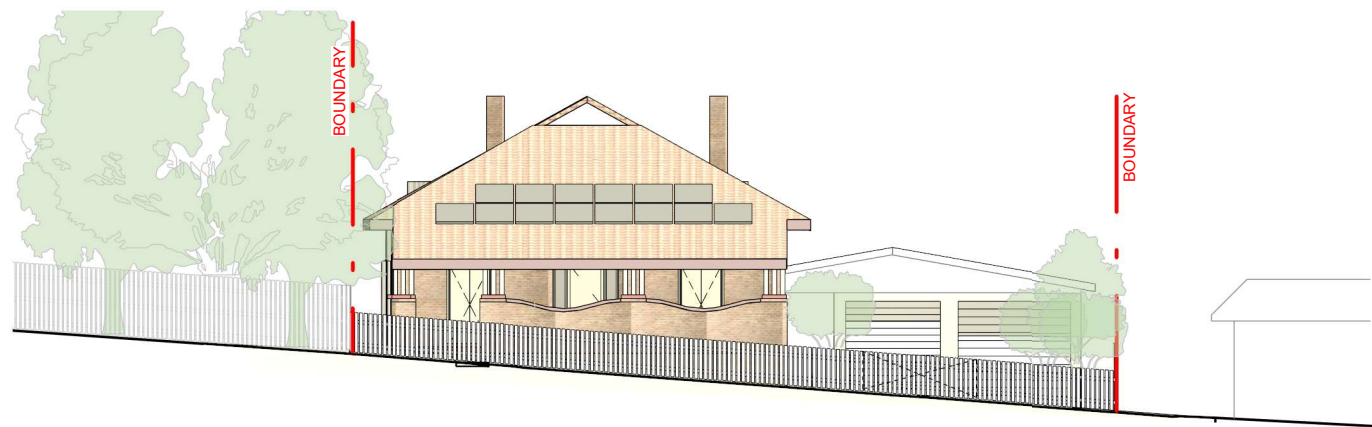
## Alterations and Additions



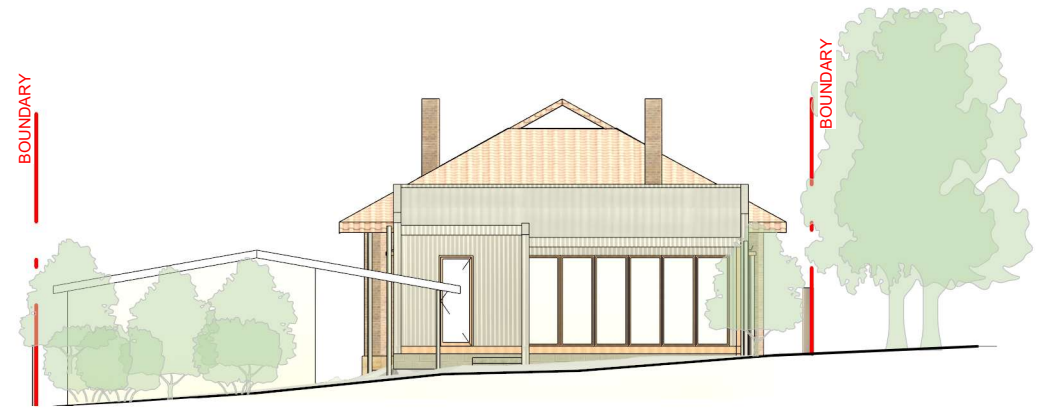
No.	Room	Aspect	Height	Width	Area (m2)	Head (RL)	Frame	Glass	Note
W01	Kitchen/Dining	N	600	900	0.54	3900	Timber Solid	Double Clear	
W02	Kitchen/Dining	N	600	900	0.54	3900	Timber Solid	Double Clear	
W03	Kitchen/Dining	N	600	900	0.54	3900	Timber Solid	Double Clear	
W04	Kitchen/Dining	N	600	900	0.54	3900	Timber Solid	Double Clear	
W05	Kitchen/Dining	N	600	900	0.54	3900	Timber Solid	Double Clear	
W06	Kitchen/Dining	N	600	900	0.54	3900	Timber Solid	Double Clear	
W07	Dining	E	600	1200	0.72	2400	Timber Solid	Single Clear	Fixed External Shading
W08	Dining	E	600	1200	0.72	2400	Timber Solid	Single Clear	Fixed External Shading
W09	Dining	E	600	1200	0.72	2400	Timber Solid	Single Clear	Fixed External Shading
W10	Dining	S	2400	900	2.16	2400	Timber Solid	Single Clear	Door
W11	Dining	S	2400	900	2.16	2400	Timber Solid	Single Clear	Door
W12	Dining	S	2400	900	2.16	2400	Timber Solid	Single Clear	Door
W13	Dining	S	2400	900	2.16	2400	Timber Solid	Single Clear	Door
W14	Dining	S	2400	900	2.16	2400	Timber Solid	Single Clear	Door
W15	Dining	S	2400	900	2.16	2400	Timber Solid	Single Clear	Door
W16	Laundry	S	2400	900	2.16	2400	Timber Solid	Single Clear	Door
W17	Butlers Pantry	W	600	600	0.36	2400	Timber Solid	Single Clear	Fixed External Shading, Deep Reveal
W18	Bathroom	W	600	900	0.54	2400	Timber Solid	Single Clear	Fixed External Shading, Deep Reveal
W19	Bathroom	W	600	600	0.36	2400	Timber Solid	Single Clear	Fixed External Shading, Deep Reveal
W20	Laundry	W	600	900	0.54	2400	Timber Solid	Single Clear	Fixed External Shading, Deep Reveal
W21	Laundry	W	600	600	0.36	2400	Timber Solid	Single Clear	Fixed External Shading, Deep Reveal

ABN (if applicable): 83259118965

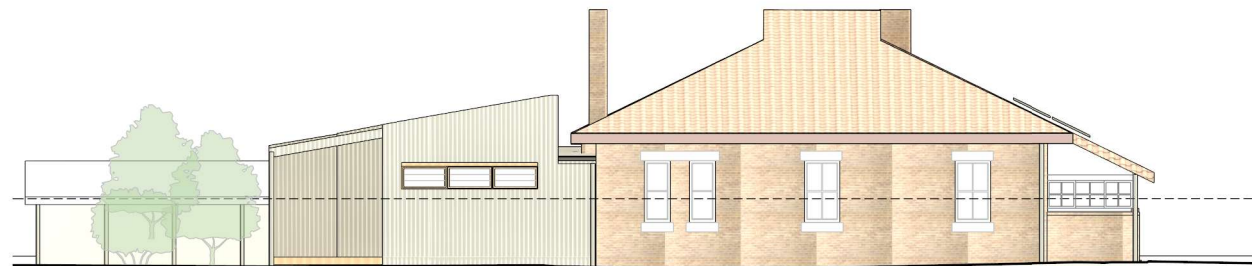
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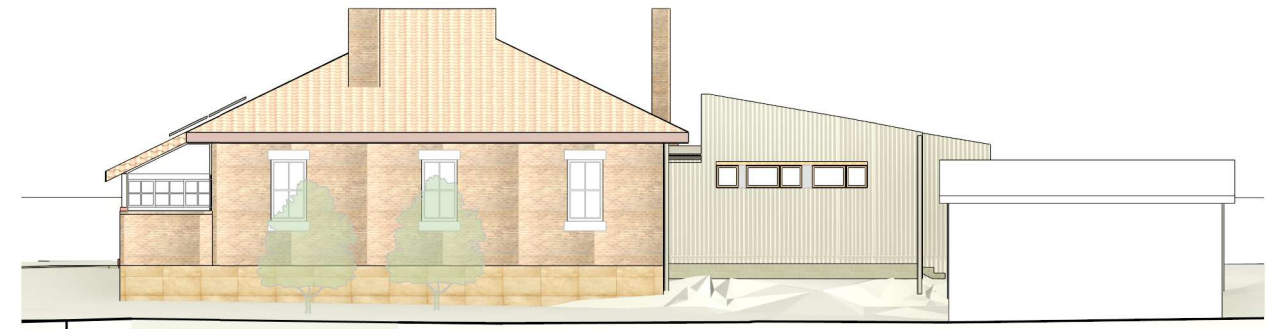
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1 : 200



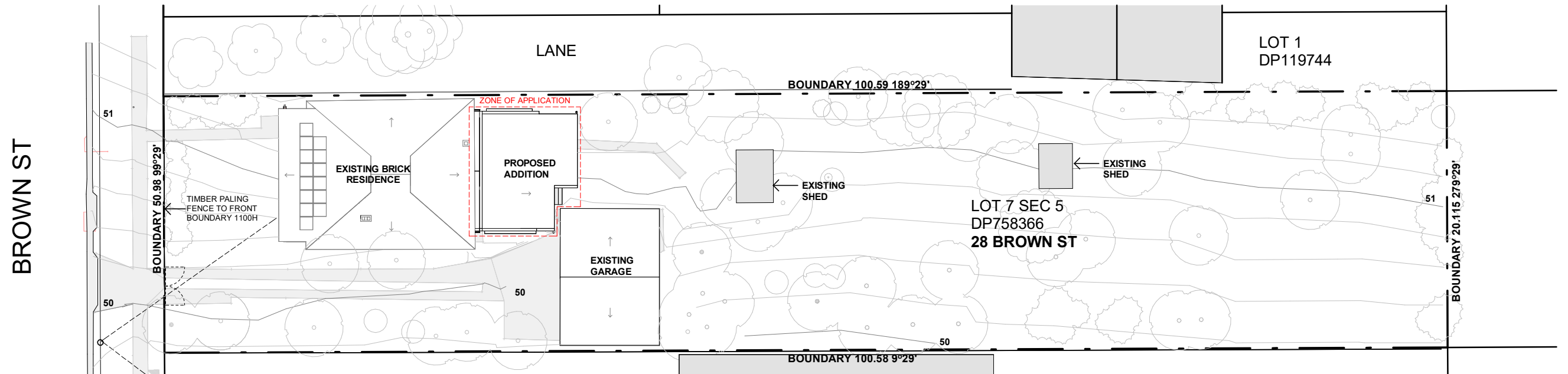
2 South Elevation  
1 : 200



3 East Elevation  
1 : 200



4 West Elevation  
1 : 200



5 Notification Plan  
1 : 350



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NOMINATED ARCHITECT NSW 9262

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No.	Description	Date
A	FOR DEVELOPMENT APPLICATION	18.03.2025

ADDRESS

Lot. 7 Sec 5 DP 758366  
28 BROWN ST DUNGOG NSW 2420

PROJECT

ALTERATION & ADDITION TO EXISTING DWELLING

CLIENT

ELIZABETH RAINE & JOHN SQUIRES

DRAWING TITLE

NOTIFICATION PLAN

DRAWING No.

DA\_900

PROJECT No.

2407\_050

REV.

A

NORTH



SCALE

As indicated



# BROWN STREET

BENCH MARK  
PIN IN KERB  
RL 49.90

MGA NORTH

SERVICES SHOWN HAVE BEEN LOCATED BY FIELD SURVEY.  
PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF ANY OTHER UNDERGROUND SERVICES.

THE BOUNDARIES HAVE BEEN DEFINED FROM PLANS AVAILABLE FROM NSW LAND REGISTRY SERVICES AND OLD SURVEY MARKS FOUND.  
THE TITLE TO THIS LAND IS LIMITED, WHEREBY OLD OCCUPATIONS OR FENCES AFFECT THE POSITION OF THE BOUNDARY AND ARE ABLE TO BE LOST OR CLAIMED BY ADVERSE POSSESSION.  
FEATURES SHOULD NOT BE SCALED TO DETERMINE THEIR RELATIONSHIP TO THE BOUNDARY.

## LEGEND

- SEWER MANHOLE
- GRATE
- COMMS PIT
- POWER POLE
- SIGN
- FENCE
- RETAINING WALL
- OVERHEAD ELECTRICITY LINE

DP1097904

BRICK  
UNITS

CARPORT

CARPORT

METAL PANEL FENCE

FIBRO  
GARAGE

SEC 5

DP758366

279°29'  
20.115

STEEL POST & WIRE FENCE

99°29'

20.115

GUTTER 54.72

VERANDAH

FLOOR LEVEL  
51.54

RIDGE  
58.08

BRICK  
RESIDENCE  
No. 28

PATIO

FIBRO  
EXTENSION

ROOF 55.75

ROOF 54.27

CLOTHESLINE

CARPORT

ROOF 52.93

ROOF 50.82

ROOF 51.03

ROOF 51.14

ROOF 51.29

ROOF 51.38

ROOF 51.49

ROOF 51.57

ROOF 51.66

ROOF 51.74

ROOF 51.82

ROOF 51.90

ROOF 51.98

ROOF 52.06

ROOF 52.14

ROOF 52.22

ROOF 52.30

ROOF 52.38

ROOF 52.46

ROOF 52.54

ROOF 52.62

ROOF 52.70

ROOF 52.78

ROOF 52.86

ROOF 52.94

ROOF 53.02

ROOF 53.10

ROOF 53.18

ROOF 53.26

ROOF 53.34

LANE

NOT FENCED

DP109744

WAREHOUSE

DP859727

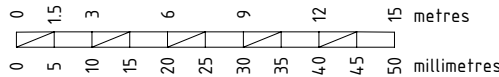
BRICK  
RESIDENCE

DP859727

DP378586

ORIGIN OF LEVELS  
PM 2502 @ RL55.892  
by SCIMS 10/7/24

SCALE 1:300 (A3)





## **SITE WASTE MINIMISATION & MANAGEMENT PLAN (SWMMP)**

### **ALTERATIONS & ADDITIONS TO EXISTING DWELLING HOUSE**

Lot 7 Sec 5 DP758366 28 BROWN ST DUNGOG NSW 2420

prepared by  
**Laura Vallentine Architects (LVA)**

February 2025

## APPLICANT & PROJECT DETAILS

This report accurately describes the proposed waste management actions for the scope of works seeking permission for development. The waste management plan covers demolition, new construction, and future use. All waste management practices nominated will be located and managed within this site boundary, except for materials requiring transported in and out.

---

### Applicant Details

---

Application No.	PAN-518095
Name	Laura Vallentine Architects (LVA)
Address	36 Kestrel Ave Salamander Bay NSW 2317
Phone	0401 202 615
Email	studio@lauravallentine.com

---

### Project Details

---

Address of Development	Lot 7 Sec 5 DP758366 28 Brown St Dungog NSW 2420
Existing buildings and other structures currently on site	Single dwelling house with rear addition, separate double garage, small subsidiary structures (shed, chook pen) in back garden
Description of proposed development	Demolition of existing rear addition to original dwelling house, construction of new addition including deck.

---

*This development achieves the waste objectives set out in the DCP. The details on this form are the provisions and intentions for minimising waste relating to this project. All records demonstrating lawful disposal of waste will be retained and kept readily accessible for inspection by regulatory authorities such as council, OEH or Safework NSW.*

---

Name	Laura Vallentine
------	------------------

---

Signature



---

Date	19.03.2025
------	------------

---



## A. SITE WASTE MINIMISATION AND MANAGEMENT PLAN

### Waste Management during Demolition and Construction

- An area will be dedicated within site boundary for a waste disposal bin / garbage receptacles for the length of the demolition/ construction where required;
- Footpaths, public reserves and street gutters will not be used as places to store demolition waste or materials of any kind without prior Council approval;
- Waste required to be moved off-site is transported in accordance with the requirements of the Protection of the Environment Operations Act 1997;
- Any hazardous waste (i.e. asbestos) will be removed in accordance with the Safe Work Australia Guidelines and Dungog Waste Management Facility Disposal of Asbestos Waste - Procedure
- Licensed contractor (to be appointed) will manage all waste associated with the development, incorporating potential reused/recycled and disposal materials where feasible as nominated within SWMMP.
- All construction materials will be managed efficiently before, during, and after the construction phase to ensure minimal resource wastage during this development. Surplus or 'off cut' construction materials will be removed from the site for potential reuse or disposed of at relevant waste management centres.

### Waste Collection

- Construction waste collection will be via private contractor collection or by contractor transporting off-site, with allocated waste receptacle storage areas located within site boundary for the extent of works.
- Access for collection will be via Brown St with an agreed arrangement to street kerb for collection ; and
- On-site Waste management system swill be located and operated to prevent undue potential for injury.

### Ongoing Operation

- There is no proposed change to the existing single dwelling house residential waste arrangements within application.
- General waste bin (green) and recycle bin (yellow) collection will continue with Dungog Shire Council., with responsibility of the owner to dispose of further waste.
- Current waste storage location within the existing separate double garage will remain unchanged.

## B. DEMOLITION - ALTERATION & ADDITION TO DWELLING HOUSE


Type of Waste Generated	Reuse Estimate Volume	Recycling Estimate Volume	Disposal Estimate Volume	Specify method of on site reuse, contractor and recycling outlet and/or waste depot to be used
Excavation Materials	Retained for reuse on site	-	-	Landscaping
Timber: Structural & Framing - non-treated hardwood	Retained for reuse on site	-	-	Joinery - TBC
Timber: Structural & Framing - non-treated	-	Yes	-	Benedict Recycling Centre (or similar)
Timber: Structural & Framing - Treated	-	Yes	-	Cleanaway (or similar)
Concrete	-	Yes	-	Concrush (or similar)
Bricks/pavers	-	Yes	-	Concrush (or similar)
Tiles	-	Yes	-	Concrush (or similar)
Metal	-	Yes	-	Benedict Recycling Centre (or similar)
Glass	-	Yes	-	Benedict Recycling Centre (or similar)
Furniture	-	Yes	-	Dungog Waste Management Facility
Fixtures and Fittings	-	Yes	-	Dungog Waste Management Facility
Floor Coverings: Non-treated hardwood flooring	Retained for reuse on site	-	-	Linings - TBC
Floor Coverings: Carpet and Underlay	-	Yes	-	Benedict Recycling Centre (or similar)
Packaging (used pallets/ pallet wrap)	-	-	-	Cleanaway (or similar)
Garden Organics	Retained for reuse on site	-	-	Landscaping/Mulching
Containers (cans,plastics, glass)	-	Yes	-	Dungog Waste Management Facility
Paper/Cardboard	-	Yes	-	Dungog Waste Management Facility
Residual Waste	-	-	Yes	Dungog Waste Management Facility
Hazardous Waste - Asbestos	-	-	Yes	Dungog Waste Management Facility
Roof sheeting - Steel	-	Yes	-	Benedict Recycling Centre (or similar)
Plasterboard	-	Yes	-	Benedict Recycling Centre (or similar)

### C. CONSTRUCTION - ALTERATION & ADDITION TO DWELLING HOUSE

Type of Waste Generated	Reuse	Recycling	Disposal	Specify method of on site reuse, contractor and recycling outlet and/or waste depot to be used
	Estimate Volume	Estimate Volume	Estimate Volume	
Excavation Materials	Retained for reuse on site	-	-	Landscaping
Timber: Structural & Framing - non-treated	-	Yes	-	Benedict Recycling Centre (or similar)
Timber: Structural & Framing - Treated	-	Yes	-	Cleanaway (or similar)
Concrete	-	Yes	-	Concrush (or similar)
Tiles	-	Yes	-	Concrush (or similar)
Metal	-	Yes	-	Benedict Recycling Centre (or similar)
Glass	-	Yes	-	Benedict Recycling Centre (or similar)
Fixtures and Fittings		Yes	-	Dungog Waste Management Facility
Packaging (used pallets/ pallet wrap)	-	Yes	-	Palettes returned to suppliers. soft wrapping recycled
Garden Organics	Retained for reuse on site	-	-	Landscaping/Mulching
Containers (cans,plastics, glass)	-	Yes	-	Dungog Waste Management Facility
Paper/Cardboard	-	Yes	-	Dungog Waste Management Facility
Residual Waste	-	-	Yes	Dungog Waste Management Facility
Roof sheeting - Steel	-	Yes		Benedict Recycling Centre (or similar)
Plasterboard	-	Yes		Benedict Recycling Centre (or similar)



[Review responses online](#) ↗



Received 4 of 4 responses






All responses received

28 Brown St, Dungog NSW 2420

Job dates  
01/03/2025 → 01/03/2026

These plans expire on  
12 Jan 2025

Lodged by  
Laura Vallentine

Authority	Status	Page
 BYDA Confirmation		2
 Essential Energy	Received	4
 Hunter Water Corporation	Received	13
 NBN Co NSW	Received	22
 Telstra NSW Central	Received	36



Contact Details

Contact	Contact number	Company	Enquirer ID
Laura Vallentine	0401 202 615	Laura Vallentine Architect	3648544
Email		Address	
lauravallentine@gmail.com		36 Kestrel Avenue Salamander Bay NSW 2317	

Job Site and Enquiry Details

**WARNING:** The map below only displays the location of the proposed job site and does not display any asset owners' pipe or cables. The area highlighted has been used only to identify the participating asset owners, who will send information to you directly.

Enquiry date	Start date	End date	On behalf of	Job purpose	Locations	Onsite activities
16/12/2024	01/03/2025	01/03/2026	Private	Design	Private	Planning & Design



Check that the location of the job site is correct. If not, you must submit a new enquiry.

If the scope of works change or plan validity dates expire, you must submit a new enquiry.

Do NOT dig without plans. Safe excavation is your responsibility. If you don't understand the plans or how to proceed safely, please contact the relevant asset owners.

User Reference	Address	Notes/description
24_001_28 Brown ST	28 Brown St Dungog NSW 2420	-

Your Responsibility and Duty of Care

- **Lodging an enquiry does not authorise project commencement.** Before starting work, you must obtain all necessary information from all affected asset owners.
- If you don't receive plans within 2 business days, contact the asset owner & quote their sequence number.
- Always follow the 5Ps of Safe Excavation (page 2), and locate assets before commencing work.
- Ensure you comply with State legislative requirements for Duty of Care and safe digging.
- If you damage an underground asset, you MUST advise the asset owner immediately.
- By using the BYDA service, you agree to the [Privacy Policy](#) and [Term of Use](#).
- For more information on safe digging practices, visit [www.byda.com.au](http://www.byda.com.au)

Asset Owner Details

Below is a list of asset owners with underground infrastructure in and around your job site. It is your responsibility to identify the presence of these assets. Plans issued by Members are indicative only unless specified otherwise. Note: not all asset owners are registered with BYDA. You must contact asset owners not listed here directly.

Referral ID (Seq. no)	Authority Name	Phone	Status
248801805	Essential Energy	13 23 91	NOTIFIED
248801806	Hunter Water Corporation	1300 657 657	NOTIFIED
248801804	NBN Co NswAct	1800 687 626	NOTIFIED
248801807	Telstra NSW Central	1800 653 935	NOTIFIED

END OF UTILITIES LIST

Referral

248801805

Member Phone

13 23 91

Responses from this member

Response received Mon 16 Dec 2024 9.58am

File name	Page
Response Body	5
Coversheet_EW_ASSETS_FOUND.pdf	6
plot161063851094091529500.pdf	8
EW_ASSETS_FOUNDsafetyNotice.pdf	9

Asset Name: 50215  
Date of enquiry: 16/12/2024 9:57:00 AM  
Notification No: 38281273 (Job No)  
Sequence No: 248801805

Customer's Name: Laura Vallentine  
Customer's Phone No: +61401202615

Address supplied for dig site location  
28 Brown St, Dungog, NSW

You will require a PDF viewer such as Adobe Acrobat Reader to view the attached documents.  
Adobe Acrobat Reader is freely available at <http://get.adobe.com/reader/>.





## CABLE/PIPE LOCATION

Assets were found in the search area

<b>COMPANY NAME:</b>	Laura Vallentine Architect
<b>ATTENTION:</b>	Laura Vallentine
<b>SEARCH LOCATION:</b>	28 Brown St Dungog NSW 2420
<b>SEQUENCE NO:</b>	248801805
<b>DATE:</b>	Monday, 16 December 2024

**Provision of Plans:**

Please find enclosed plans depicting approximate locations of **Essential Energy** assets in the search location. **The excavator must not assume that there may not be assets owned by other network operators in the search location.**

Underground assets searched for	Underground assets found
Essential Energy Electrical	<input checked="" type="checkbox"/>
Essential Energy Water & Sewerage	<input type="checkbox"/>

Plans are updated from time to time to record changes to underground assets and may be updated by Essential Energy without notice. In the event that excavation does not commence within 28 days of receipt of a plan, a new plan should be obtained.

The excavator must retain the plans on site for the duration of the works.

The excavator shall report all damage made to Essential Energy assets immediately. Note that damage includes gouges, dents, holes and gas escapes.

**IN CASE OF EMERGENCY OR TO REPORT DAMAGE:  
PHONE 13 20 80**

### DISCLAIMER

Please be aware that plans may **not** reflect alterations to surface levels or the position of roads, buildings, fences etc. **Cable and pipe locations are approximate** and the plans are **not** suitable for scaling purposes. *Essential Energy does not retain plans for privately-owned underground electrical or water & sewerage assets located on private property. Privately-owned underground electrical assets located on private property are the responsibility of the owner.*

The plans have been prepared for Essential Energy's sole use and benefit. **Essential Energy cannot and does not warrant the accuracy or completeness of the plans.** Essential Energy supplies them at no cost with the object of reducing the serious risk of unintentional damage being caused to its cables and pipes. **Essential Energy does not accept any responsibility for any omissions, inaccuracies or errors in the plans, or any reliance place on the material. Any reliance placed on any plan provided in response to your request is at your own risk.**



Essential Energy retains all intellectual and industrial property rights which exists or may exist in or with respect to the plan(s). The material provided is not to be copied or distributed beyond you.

You release Essential Energy from and against all claims, demands, actions and proceedings arising out of or in any way related to the use of the provided material.

**Location of Assets on Site:**

The plans indicate only that cables and pipes may exist in the general vicinity – they do not pinpoint the exact location of the cables and pipes.

If it is found that the location of cables or pipes on the plans can be improved, please notify Essential Energy on 13 23 91 (or fax 1800 354 636).

All individuals have a duty of care they must observe when working in the vicinity of underground cables and pipes. It is the **excavator's responsibility to visually expose the underground cables and pipes manually, ie. by using hand-held tools and non-destructive pot-holing techniques prior to any mechanical excavation**. The excavator will be held responsible for all damage caused to the Essential Energy network or cables and pipes, and for the costs associated with the repair of any such damage. The excavator will also be held responsible for all damage caused to any persons.

When digging in the vicinity of underground assets, persons should observe the requirements of the applicable Codes of Practice published by the NSW Work Cover Authority or Safe Work Australia, and any amendments from time to time by the Authorities, including although not limited to:

- Excavation Work
- Managing Electrical Risks in the workplace
- How to manage and control asbestos in the workplace

(Please refer to <https://www.workcover.nsw.gov.au/law-and-policy/legislation-and-codes/codes-of-practice>).

When digging in the vicinity of **electrical assets** persons should observe the requirements of the **Electricity Supply Act 1995**.

Persons excavating near live underground electrical reticulation and/or earthing cables **must exercise extreme caution at all times and adhere to the requirements of Essential Energy's Electrical Safety Rules**. (These are available on our website: <http://www.essentialenergy.com.au/content/safety-community> and include

- **Work near Essential Energy's Underground Assets:**  
<http://www.essentialenergy.com.au/asset/cms/pdf/contestableWorks/CEOP8041.pdf> , and
- **Asbestos Fact Sheet:**  
<http://www.essentialenergy.com.au/asset/cms/pdf/safety/AsbestosFactSheet.pdf>

In some situations these procedures call for work to be performed by authorised staff.

Should there be any doubt as to the exact location of any underground electrical assets, and the potential for conflict with live underground cables caused by excavation at your work site, you should contact

**13 23 91** to arrange for an on-site visit by an Essential Energy representative. No construction or mechanical excavation work is to commence prior to this on-site visit and approval being obtained.

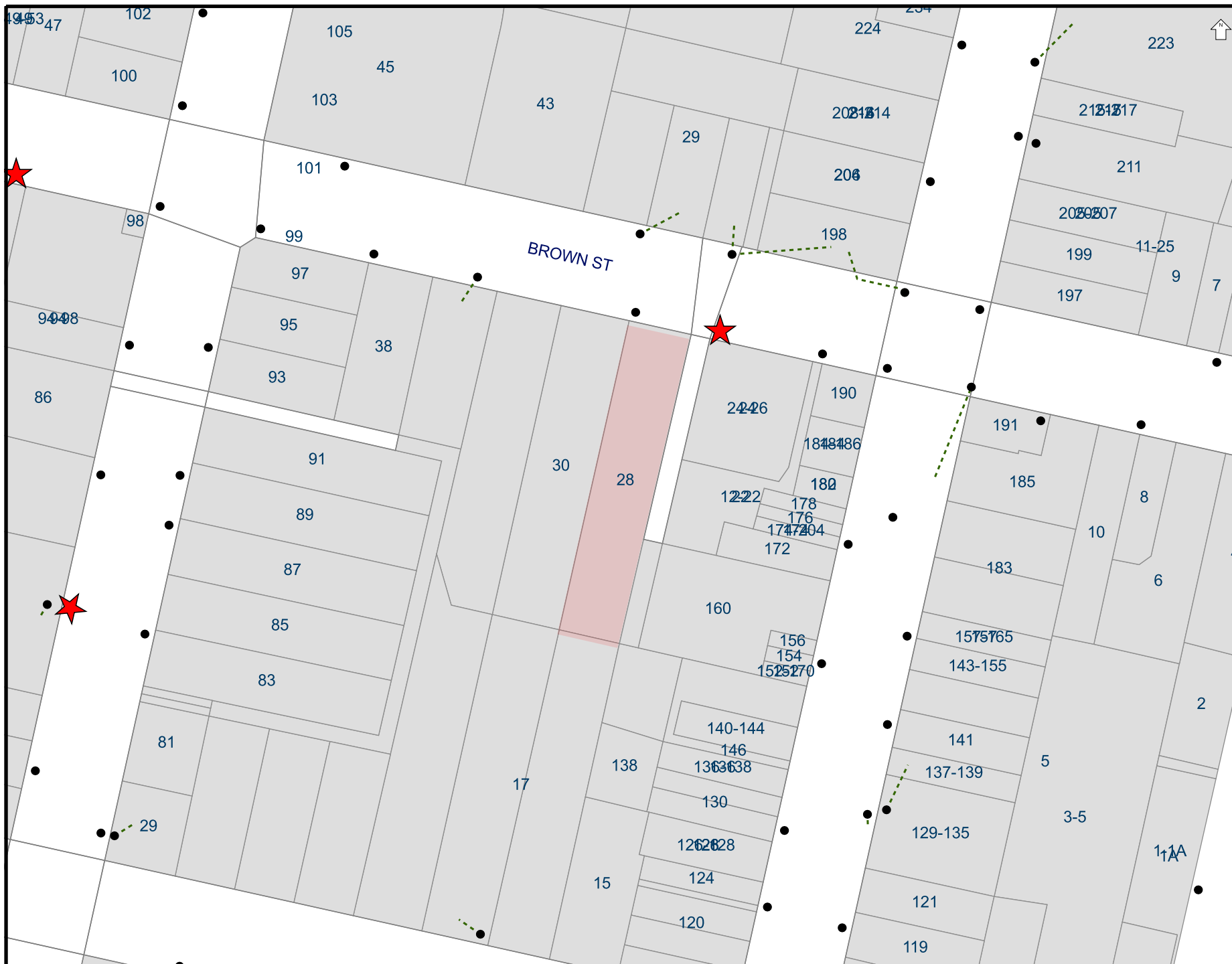
When digging in the vicinity of **water or sewer assets** persons should observe the requirements of the **Water Management Act 2000**.

Should there be any doubt as to the exact location of any underground water and sewer assets, and the potential for conflict with underground water and sewer pipes caused by excavation at your work site, you should contact **13 23 91** to arrange for an on-site visit. No construction or excavation work is to commence prior to this on-site visit and approval being obtained.

**Prior Notification:**

Please note that for excavation depths greater than 250mm near power poles and stays you should allow for **advance notice** in your construction program to permit Essential Energy time to allocate the necessary field resources to carry out the inspection at the site a **minimum of fourteen (14) working days prior to work commencing**. This service may incur a fee and this can be negotiated with the local Area Coordinator at the time of making the appointment. Failure to give reasonable notice to the local Area Coordinator may result in disruption to Essential Energy's planned works program in the district and could incur an extra charge over and above the normal rate for this service.

**For further information please call 13 23 91.**



Overhead wires not shown  
LOOK UP & LIVE!

## LEGEND

- LV Underground Cable
- HV Underground Cable
- Underground Pipe
- ★ Underground Earth or Wires
- ▲ Ground Substation
- Pole
- ⊗ Cubicle
- Pit
- Area of Interest

## Critical Assets

Contact Essential Energy  
on 13 23 91

- ▨ Zone Substation
- Underground Cable
- Underground Fibre

## Proposed Works

- ▨ Area of proposed works

Proposed assets are shown as  
orange symbols

**THE INFORMATION ON THIS  
MAP MAY NOT BE  
ACCURATE.**

If details are  
incorrect, please  
notify

Essential Energy on  
13 23 91  
(or fax 1800 354 636)

ISSUE DATE: 16/12/2024

You must resubmit your  
request if you have not  
started work within 4 weeks  
of the 'Issue Date' above

A4 SCALE: 1:1586



Job Number: 38281273

Sequence number: 248801805

Job location: 28 Brown St, Dungog

Map  
Centre:

Referral

248801806

Member Phone

1300 657 657

Responses from this member

Response received Mon 16 Dec 2024 9.57am

File name	Page
Response Body	14
248801806.pdf	15
Legend.pdf	21



THIS IS AN AUTOMATED RESPONSE. PLEASE DO NOT RESPOND TO THIS EMAIL To: Laura Vallentine RE: Before You Dig Australia (BYDA) REFERRAL NOTIFICATION FROM HUNTER WATER CORPORATION NSW Sequence No: 248801806 Enquiry Date: 16/12/2024 Commencement Date: 01/03/2025 Completion Date: 01/03/2026 Thank you for the above enquiry. Please find attached the "248801806.pdf" which overviews your proposed work area in association with Hunter Water Corporation's assets. Please note that this communication, including any attachments, is confidential. If you are not the intended recipient, you should not read it please contact us immediately, destroy it, and do not copy or use any part of this communication.



# Before You Dig Australia (BYDA)

## Location Information

**Hunter Water Corporation**  
36 Honeysuckle Drive  
NEWCASTLE NSW 2300

**To:**

Laura Vallentine Architect - Laura Vallentine  
36 Kestrel Avenue  
Salamander Bay NSW 2317

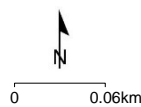
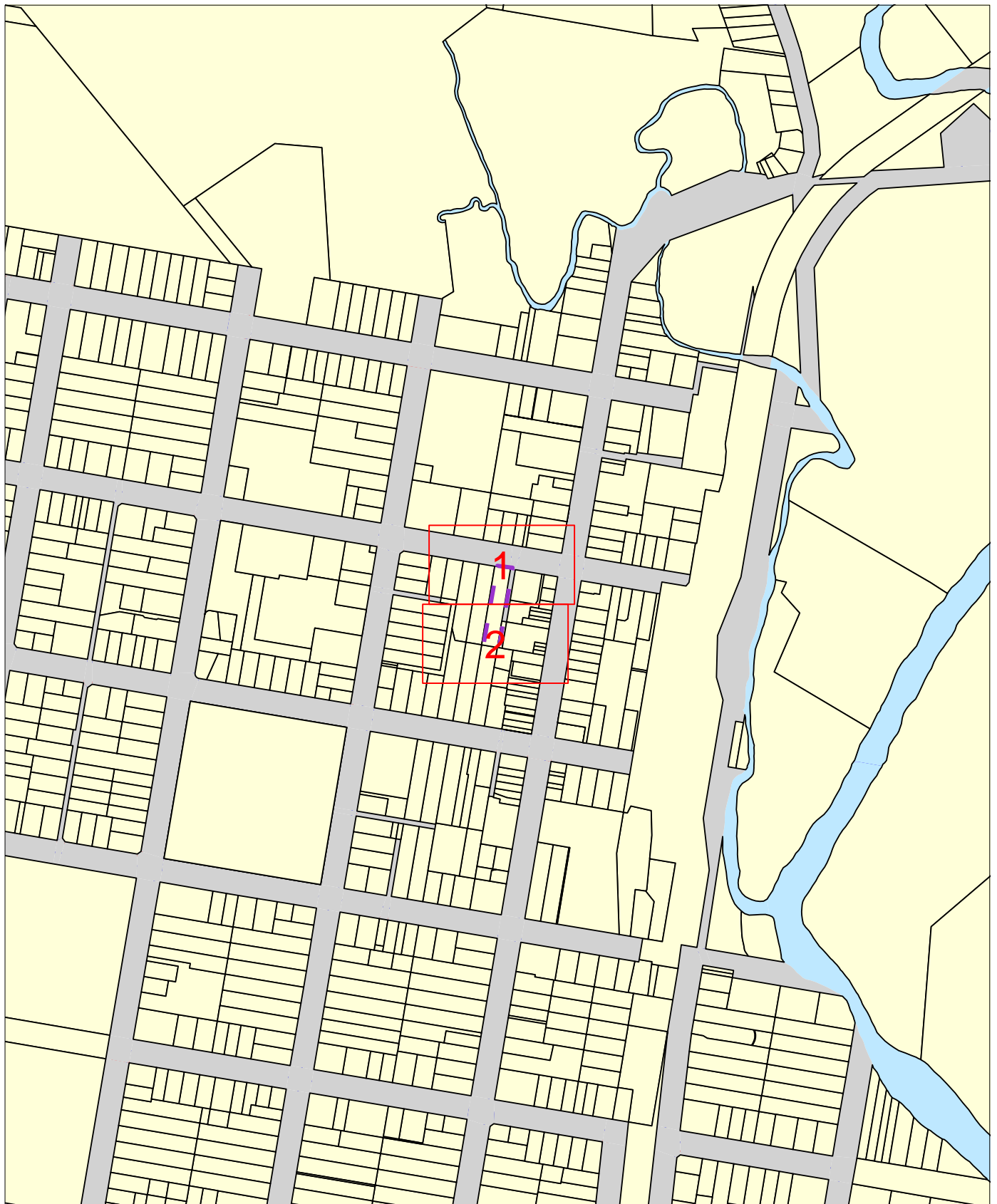
Enquiry Details	
Utility ID	80220
Job Number	38281273
Sequence Number	248801806
Enquiry Date	16/12/2024 08:57
Response	<b>AFFECTED</b>
Address	28 Brown St Dungog
Location in Road	
Activity	Planning and Design

Enquirer Details	
Customer ID	3648544
Contact	Laura Vallentine
Company	Laura Vallentine Architect
Email	lauravallentine@gmail.com
Phone	+61401202615



# Overview Map

Sequence No: 248801806  
28 Brown St Dungog



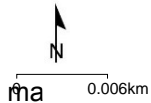
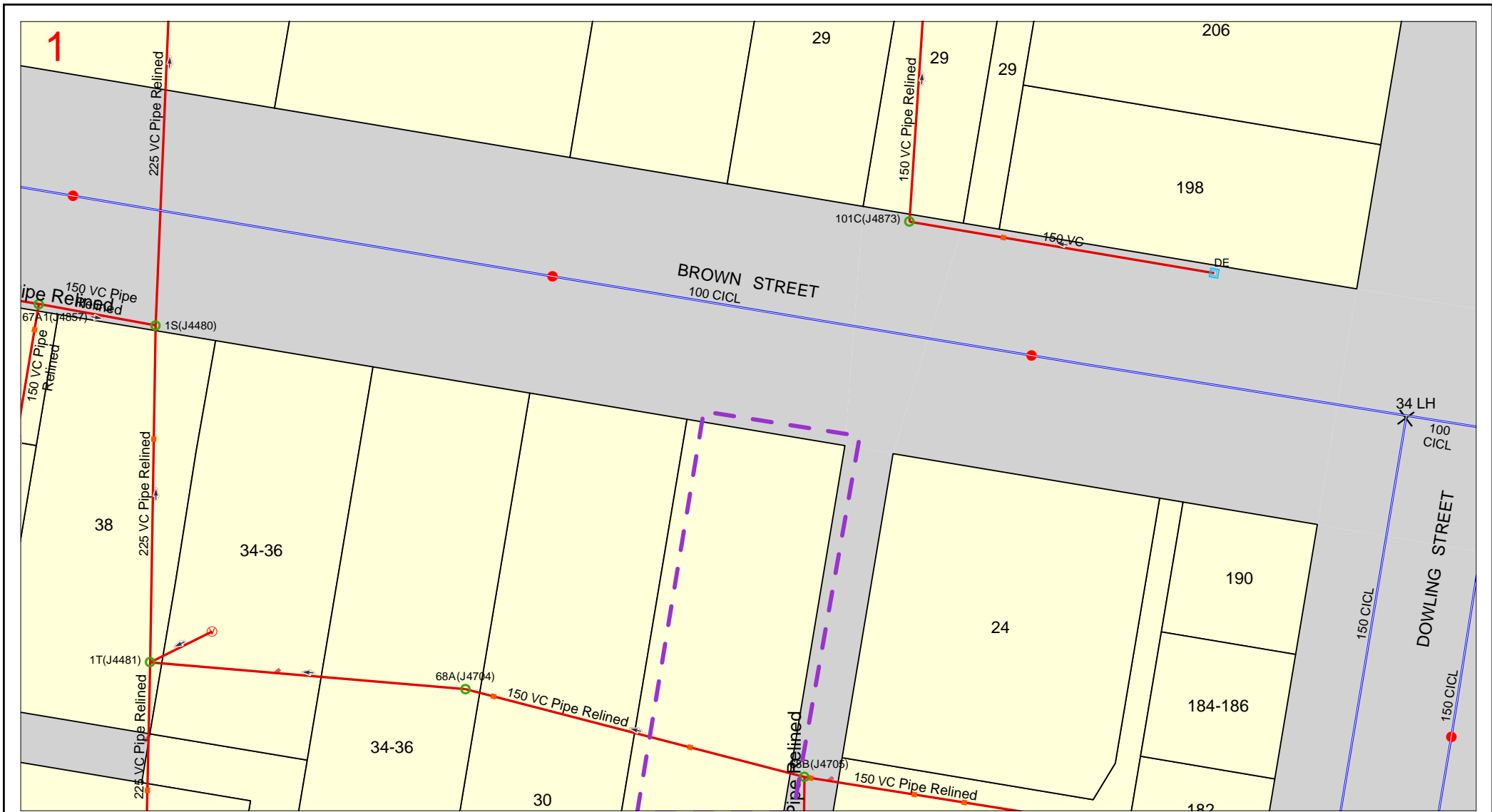
## LEGEND:

- 1** Detail Map
- BYDADIA Work Area



# Map 1

Sequence No: 248801806



## IMPORTANT

**THIS PLAN IS NOT TO BE USED FOR CONVEYANCING**

THIS INFORMATION IS VALID FOR 30 DAYS FROM THE DATE OF ISSUE

SEWER/WATER/RECYCLED WATER/  
ELECTRICAL - UTILITY DATA  
© HUNTER WATER CORPORATION 2019

SERVICE LOCATIONS ARE APPROXIMATE.  
HAND DIG UNTIL ACTUAL LOCATIONS ARE IDENTIFIED.  
PROPERTY SERVICES ARE NOT SHOWN.

ANY INFORMATION ON THIS PLAN MAY NOT BE UP TO DATE  
AND THE CORPORATION ACCEPTS NO RESPONSIBILITY FOR  
ITS ACCURACY.

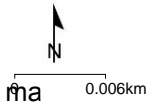
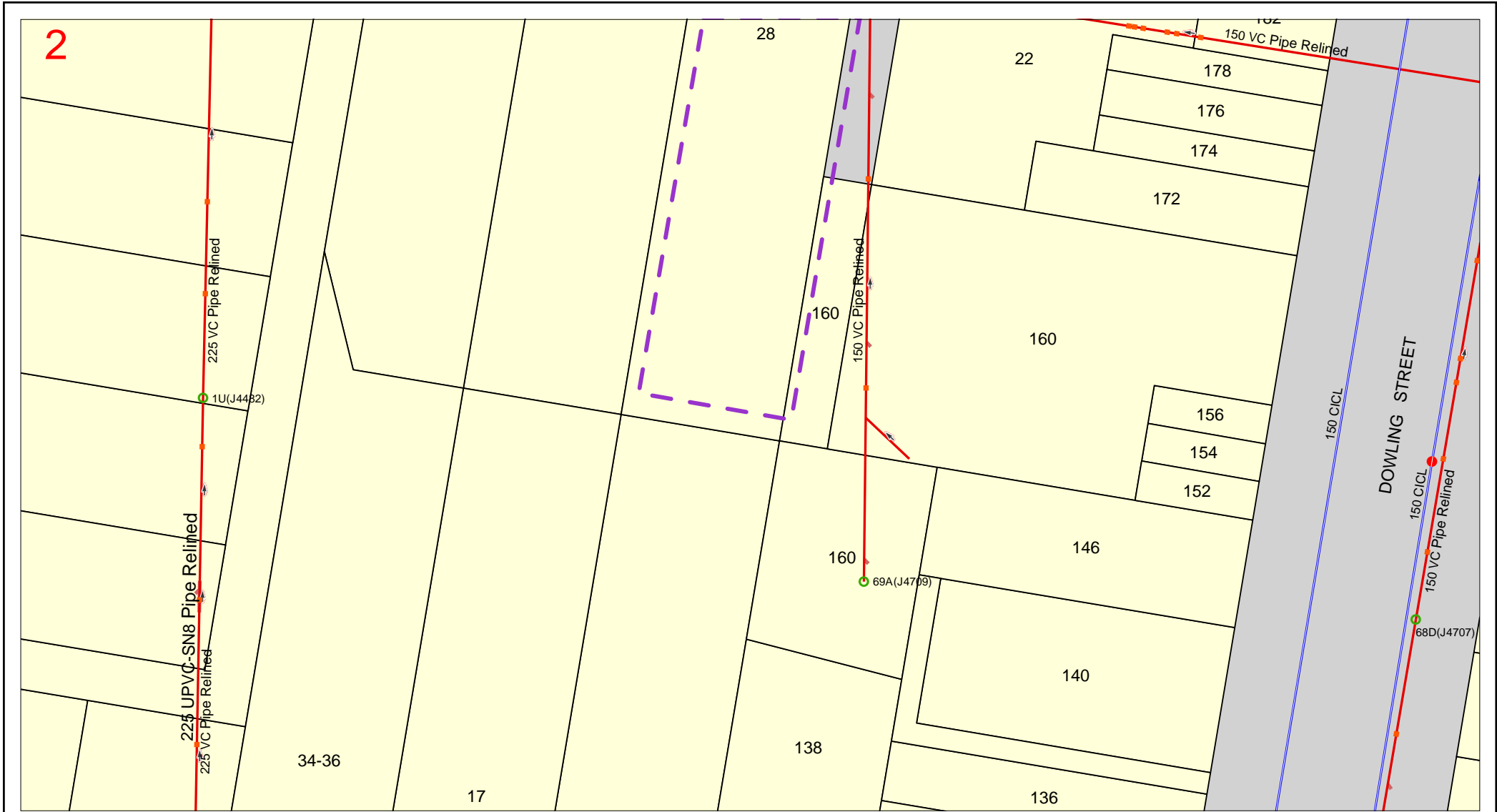
CADASTRAL DATA © Department Finance, Services & Innovation  
[Nov 2017]





# Map 2

Sequence No: 248801806



## IMPORTANT

**THIS PLAN IS NOT TO BE USED FOR CONVEYANCING**

THIS INFORMATION IS VALID FOR 30 DAYS FROM THE DATE OF ISSUE

























































































SEWER/WATER/RECYCLED WATER/  
ELECTRICAL - UTILITY DATA  
© HUNTER WATER CORPORATION 2019

SERVICE LOCATIONS ARE APPROXIMATE.  
HAND DIG UNTIL ACTUAL LOCATIONS ARE IDENTIFIED.  
PROPERTY SERVICES ARE NOT SHOWN.

ANY INFORMATION ON THIS PLAN MAY NOT BE UP TO DATE  
AND THE CORPORATION ACCEPTS NO RESPONSIBILITY FOR  
ITS ACCURACY.

CADASTRAL DATA © Department Finance, Services & Innovation  
[Nov 2017]

## Hunter Water Corporation DBYD Asset Legend

Electrical Assets	Water Assets		RecycledWater Assets	Sewer Assets	StormWater Assets	Land Details
 High Voltage	 Contol Valve	 HWC Rain Gauge	 Air Valve	 Air Valve	 StormWater Assets	 Area of Interest
 Low Voltage	 Hydrant Control Valve	 HWC Stream Flow Gauge	 Reflux Valve Open	 Stop/Butterfly/Ball Valve	 StormWater Network Structure	 Easement Non HWC
 Electrical Pole	 Reflux Valve	 Radio Base	 Stop Valve Open	 Gate Valve	 StormWater Mains	 Fence Line
 Distribution Transformer	 Stop/Scour Valve	 Weather Station	 RecycledWater Hydrant	 Manhole	 Mains Abandon	 Non-HWC Easement
 Air Break Switch	 Tee & Stop Valve	 Piezometer	 Cluster Box	 Cap		 HWC Easement
 Circuit Breaker	 Hydrant	 Bore Site	 End Cap	 Dead End		 Parcel
 High Voltage	 Cluster Box		 Flushing Tap	 Flushing Tank		 Road
 Low Voltage	 End Cap		 Manhole	 H&V Bend		 Water Parcels
	 Flushing Tap		 Scour	 Junction Connection		 Hazardous Material
	 Manhole		 RecycledWater Meter	 Outfall		 Map Sheet Index
	 Scour		 RecycledWater Network Structure	 Overflow		
	 Water Meter		 Other Main	 Sewer/Valve Pit		
	 Water Network Structure		 Reticulation Main	 Tangent Point		
	 Other Main		 Reticulation Main Encased/Conduit	 Sewer Meter		
	 Trunk Main		 Trunk Main	 Sewer Vent		
	 Reticulation Main		 Trunk Main Encased/Conduit	 Sewer Network Structure		
	 Water Encased Mains		 RecycledWater Encased Mains	 Other Main		
	 Water Prelaid Service		 RecycledWater Prelaid Service	 Gravity Main		
				 Pressure/Vacuum Main		
				 Effluent Main		
				 Outfall		
				 Overflow Main		
				 Rising Main		
				 Sewer Encased Mains		

Referral  
248801804

Member Phone  
1800 687 626

Responses from this member

Response received Mon 16 Dec 2024 10.51am

File name	Page
Response Body	23
248801804_20241215_235036679725_pwc_1.pdf	24
248801804_20241215_235036679725_1.pdf	27
Disclaimer_248801804_20241215_235036679725.pdf	30
4678_NBN_Dial_Before_You_Dig_Poster_20170517.pdf	34

Hi Laura Vallentine,

Please find attached the response to your DBYD referral for the address mentioned in the subject line. The location shown in our DBYD response is assumed based off the information you have provided. If the location shown is different to the location of the excavation then this response will consequently be rendered invalid.

Take the time to read the response carefully and note that this information is only valid for 28 days after the date of issue.

If you have any further enquiries, please do not hesitate to contact us.

Regards,  
Network Services and Operations  
NBN Co Limited  
P: 1800626329  
E: [dbyd@nbnco.com.au](mailto:dbyd@nbnco.com.au)  
[www.nbnco.com.au](http://www.nbnco.com.au)


**Confidentiality and Privilege Notice**

This e-mail is intended only to be read or used by the addressee. It is confidential and may contain legally privileged information. If you are not the addressee indicated in this message (or responsible for delivery of the message to such person), you may not copy or deliver this message to anyone, and you should destroy this message and kindly notify the sender by reply e-mail. Confidentiality and legal privilege are not waived or lost by reason of mistaken delivery to you. Any views expressed in this message are those of the individual sender, except where the sender specifically states them to be the views of NBN Co Limited

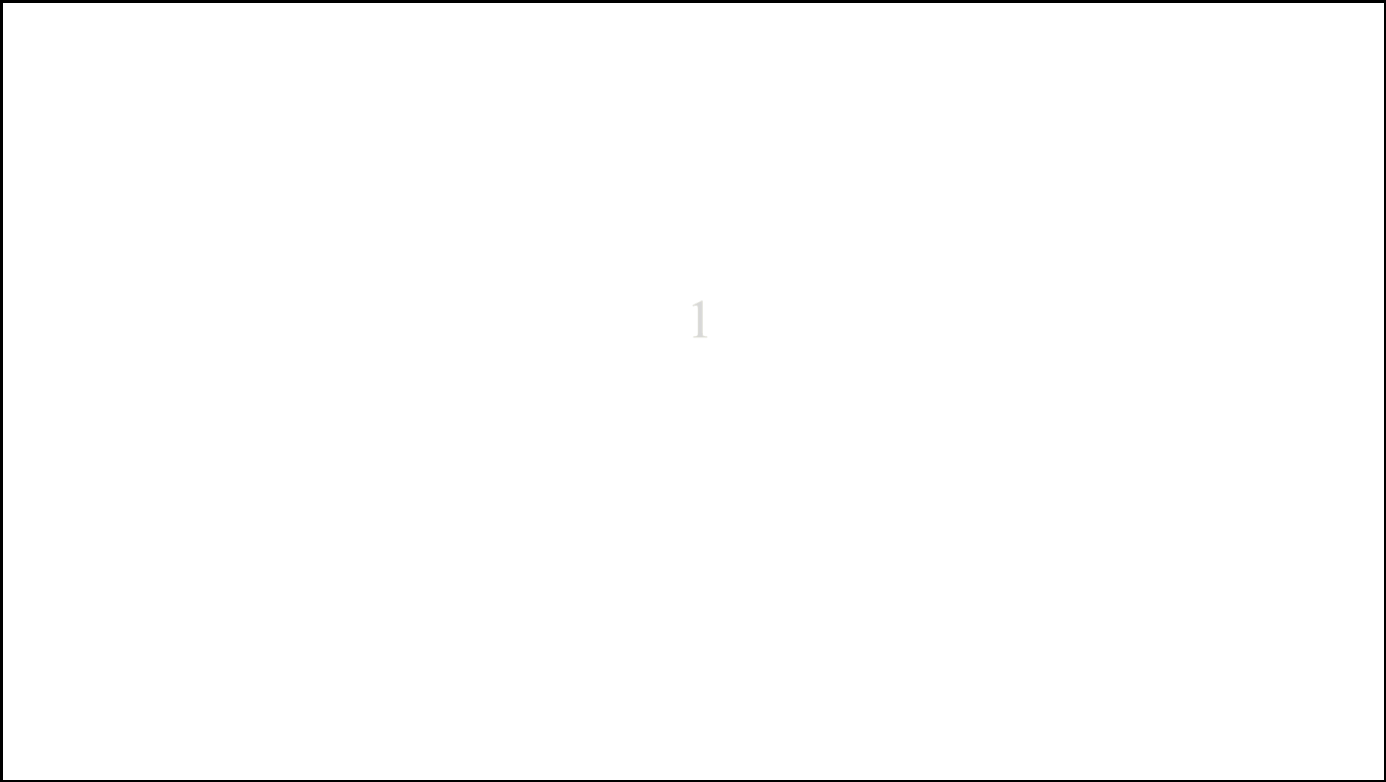
Please Do Not Reply To This Mail



**To:** Laura Vallentine  
**Phone:** Not Supplied  
**Fax:** Not Supplied  
**Email:** lauravallentine@gmail.com

<b>Dial before you dig Job #:</b>	38281273	 <b>BEFORE YOU DIG</b> <small>www.byda.com.au</small> <b>Zero Damage - Zero Harm</b>
<b>Sequence #</b>	248801804	
<b>Issue Date:</b>	15/12/2024	
<b>Location:</b>	28 Brown St , Dungog , NSW , 2420	

Indicative Plans are tiled below to demonstrate how to layout and read nbn asset plans

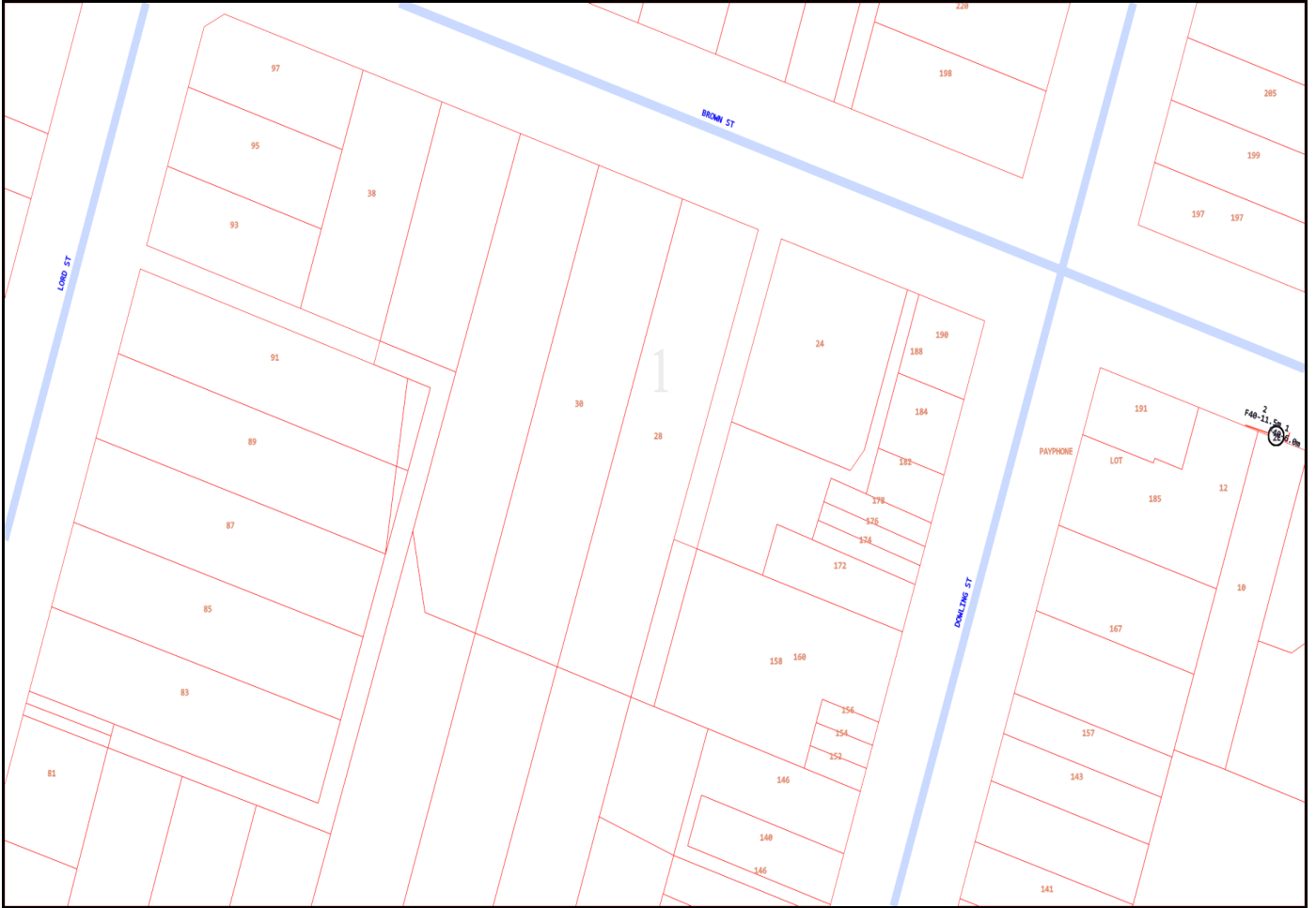




## LEGEND




	Parcel and the location
	Pit with size "5"
	Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null.
	Manhole
	Pillar
	Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart.
	2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart.
	Trench containing any <b>INSERVICE/CONSTRUCTED</b> (Copper/RF/Fibre) cables.
	Trench containing only <b>DESIGNED/PLANNED</b> (Copper/RF/Fibre/Power) cables.
	Trench containing any <b>INSERVICE/CONSTRUCTED</b> (Power) cables.
	Road and the street name "Broadway ST"
Scale	0 20 40 60 Meters 1:2000  1 cm equals 20 m



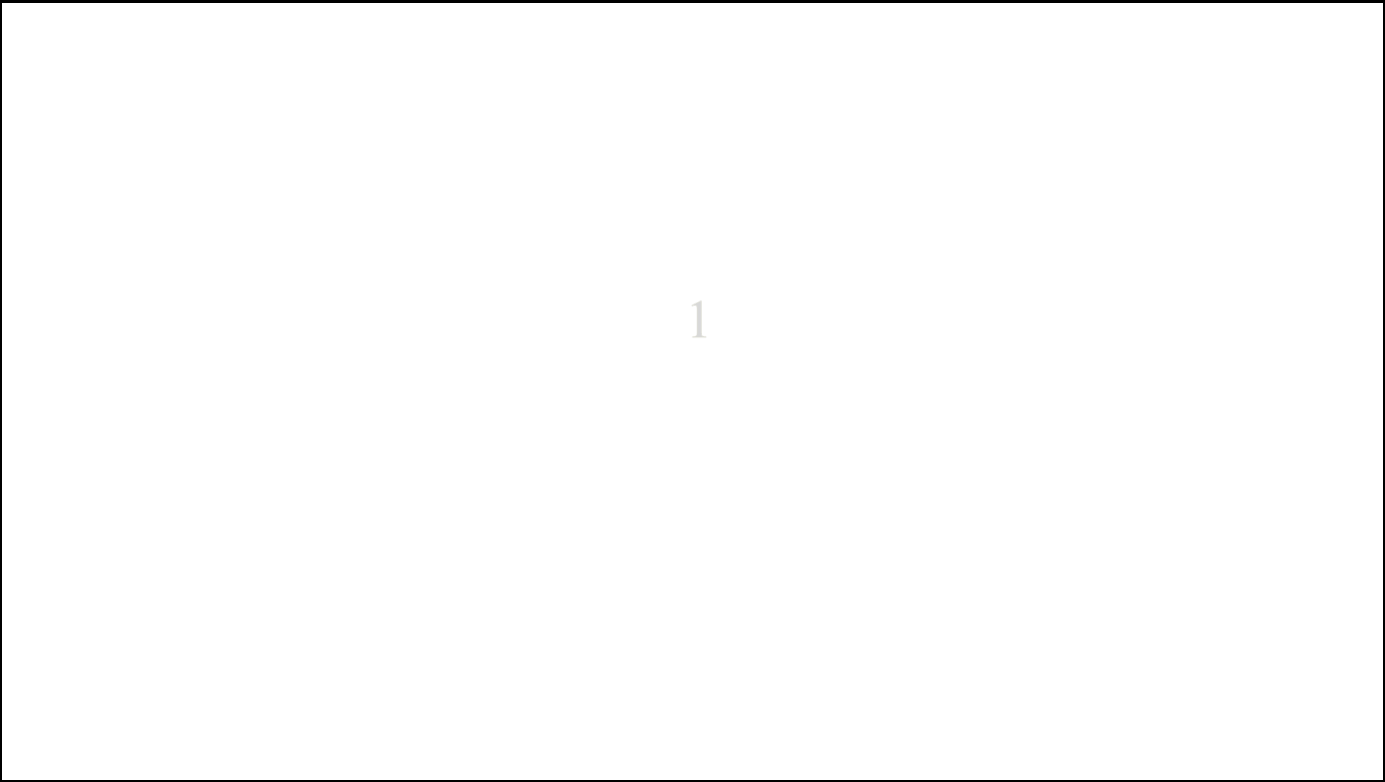
# Emergency Contacts

You must immediately report any damage to the **nbn™** network that you are/become aware of. Notification may be by telephone - 1800 626 329.

**To:** Laura Vallentine  
**Phone:** Not Supplied  
**Fax:** Not Supplied  
**Email:** lauravallentine@gmail.com

<b>Dial before you dig Job #:</b>	38281273	 <b>BEFORE YOU DIG</b> <small>www.byda.com.au</small> <b>Zero Damage - Zero Harm</b>
<b>Sequence #</b>	248801804	
<b>Issue Date:</b>	15/12/2024	
<b>Location:</b>	28 Brown St , Dungog , NSW , 2420	

Indicative Plans are tiled below to demonstrate how to layout and read nbn asset plans

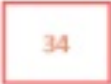




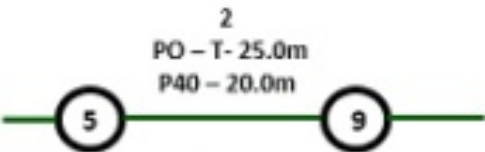













## LEGEND



	Parcel and the location
	Pit with size "5"
	Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null.
	Manhole
	Pillar
	Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart.
	2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart.
	Trench containing any <b>INSERVICE/CONSTRUCTED</b> (Copper/RF/Fibre) cables.
	Trench containing only <b>DESIGNED/PLANNED</b> (Copper/RF/Fibre/Power) cables.
	Trench containing any <b>INSERVICE/CONSTRUCTED</b> (Power) cables.
	Road and the street name "Broadway ST"
Scale	0 20 40 60 Meters 1:2000  1 cm equals 20 m



**To:** Laura Vallentine  
**Phone:** Not Supplied  
**Fax:** Not Supplied  
**Email:** lauravallentine@gmail.com

<b>Before You Dig Australia Job #:</b>	38281273	 <b>BEFORE YOU DIG</b> www.byda.com.au Zero Damage - Zero Harm
<b>Sequence #</b>	248801804	
<b>Issue Date:</b>	15/12/2024	
<b>Location:</b>	28 Brown St , Dungog , NSW , 2420	

## Information

The area of interest requested by you contains one or more assets.

<b>nbn™ Assets</b>	<b>Search Results</b>
<b>Communications</b>	Asset identified
<b>Electricity</b>	Asset identified

In this notice **nbn™ Facilities** means *underground fibre optic, telecommunications and/or power facilities, including but not limited to cables, owned and controlled by nbn™*

## Location of nbn™ Underground Assets

We thank you for your enquiry. In relation to your enquiry at the above address:

- **nbn's** records indicate that there **ARE nbn™** Facilities in the vicinity of the location identified above ("Location").
- **nbn** indicative plan/s are attached with this notice ("Indicative Plans").
- The Indicative Plan/s show general depth and alignment information only and are not an exact, scale or accurate depiction of the location, depth and alignment of **nbn™** Facilities shown on the Plan/s.
- In particular, the fact that the Indicative Plans show that a facility is installed in a straight line, or at uniform depth along its length cannot be relied upon as evidence that the facility is, in fact, installed in a straight line or at uniform depth.
- You should read the Indicative Plans in conjunction with this notice and in particular, the notes below.
- You should note that, at the present time, the Indicative Plans are likely to be more accurate in showing location of fibre optics and telecommunications cables than power cables. There may be a variation between the line depicted on the Indicative Plans and the location of any power cables. As such, consistent with the notes below, particular care must be taken by you to make your own enquiries and investigations to precisely locate any power cables and manage the risk arising from such cables accordingly.
- The information contained in the Indicative Plan/s is valid for 28 days from the date of issue set out above. You are expected to make your own inquiries and perform your own investigations (including engaging appropriately qualified plant locators, e.g BYDA Certified Locators, at your cost to locate **nbn™** Facilities during any activities you carry out on site).

We thank you for your enquiry and appreciate your continued use of the Before You Dig Australia Service. For any enquiries related to moving assets or Planning and Design activities, please visit the **nbn Commercial Works** website to complete the online application form. If you are planning to excavate and require further information, please email [dbyd@nbnco.com.au](mailto:dbyd@nbnco.com.au) or call 1800 626 329.

#### Notes:

1. You are now aware that there are **nbn™** Facilities in the vicinity of the above property that could be damaged as a result activities carried out (or proposed to be carried out) by you in the vicinity of the Location.
2. You should have regard to section 474.6 and 474.7 of the *Criminal Code Act 1995* (CoA) which deals with the consequences of interfering or tampering with a telecommunications facility. Only persons authorised by **nbn** can interact with **nbn's** network facilities.
3. Any information provided is valid only for **28 days** from the date of issue set out above.

## Referral Conditions

The following are conditions on which **nbn** provides you with the Indicative Plans. By accepting the plans, you are agreeing to these conditions. These conditions are in addition, and not in replacement of, any duties and obligations you have under applicable law.

1. **nbn** does not accept any responsibility for any inaccuracies of its plans including the Indicative Plans. You are expected to make your own inquiries and perform your own investigations (including engaging appropriately qualified plant locators, e.g BYDA Certified Locators, at your cost to locate **nbn™** Facilities during any activities you carry out on site).
2. You acknowledge that **nbn** has specifically notified you above that the Indicative Plans are likely to be more accurate in showing location of fibre optics and telecommunications cables than power cables. There may be a variation between the line depicted on the Indicative Plans and the location of any power cables.
3. You should not assume that **nbn™** Facilities follow straight lines or are installed at uniform depths



along their lengths, even if they are indicated on plans provided to you. Careful onsite investigations are essential to locate the exact position of cables.

4. In carrying out any works in the vicinity of **nbn**™ Facilities, you must maintain the following minimum clearances:
  - 300mm when laying assets inline, horizontally or vertically.
  - 500mm when operating vibrating equipment, for example: jackhammers or vibrating plates.
  - 1000mm when operating mechanical excavators.
  - Adherence to clearances as directed by other asset owner's instructions and take into account any uncertainty for power cables.
5. You are aware that there are inherent risks and dangers associated with carrying out work in the vicinity of underground facilities (such as **nbn**™ fibre optic, copper and coaxial cables, and power cable feed to **nbn**™ assets). Damage to underground electric cables may result in:
  - Injury from electric shock or severe burns, with the possibility of death.
  - Interruption of the electricity supply to wide areas of the city.
  - Damage to your excavating plant.
  - Responsibility for the cost of repairs.
6. You must take all reasonable precautions to avoid damaging **nbn**™ Facilities. These precautions may include but not limited to the following:
  - All excavation sites should be examined for underground cables by careful hand excavation. Cable cover slabs if present must not be disturbed. Hand excavation needs to be undertaken with extreme care to minimise the likelihood of damage to the cable, for example: the blades of hand equipment should be aligned parallel to the line of the cable rather than digging across the cable.
  - If any undisclosed underground cables are located, notify **nbn** immediately.
  - All personnel must be properly briefed, particularly those associated with the use of earth-moving equipment, trenching, boring and pneumatic equipment.
  - The safety of the public and other workers must be ensured.
  - All excavations must be undertaken in accordance with all relevant legislation and regulations.
7. You will be responsible for all damage to **nbn**™ Facilities that are connected whether directly, or indirectly with work you carry out (or work that is carried out for you or on your behalf) at the Location. This will include, without limitation, all losses expenses incurred by **nbn** as a result of any such damage.
8. You must immediately report any damage to the **nbn**™ network that you are/become aware of. Notification may be by telephone - 1800 626 329.
9. Except to the extent that liability may not be capable of lawful exclusion, **nbn** and its servants and agents and the related bodies corporate of **nbn** and their servants and agents shall be under no liability whatsoever to any person for any loss or damage (including indirect or consequential loss or damage) however caused (including, without limitation, breach of contract negligence and/or breach of statute) which may be suffered or incurred from or in connection with this information sheet or any plans (including Indicative Plans) attached hereto. Except as expressly provided to the contrary in this information sheet or the attached plans (including Indicative Plans), all terms, conditions, warranties, undertakings or representations (whether expressed or implied) are excluded to the fullest extent permitted by law.

All works undertaken shall be in accordance with all relevant legislations, acts and regulations applicable to the particular state or territory of the Location. The following table lists all relevant documents that shall be considered and adhered to.

State/Territory	Documents
National	Work Health and Safety Act 2011
	Work Health and Safety Regulations 2011
	Safe Work Australia - Working in the Vicinity of Overhead and Underground Electric Lines (Draft)

	Occupational Health and Safety Act 1991
<b>NSW</b>	Electricity Supply Act 1995
	Work Cover NSW - Work Near Underground Assets Guide
	Work Cover NSW - Excavation Work: Code of Practice
<b>VIC</b>	Electricity Safety Act 1998
	Electricity Safety (Network Asset) Regulations 1999
<b>QLD</b>	Electrical Safety Act 2002
	Code of Practice for Working Near Exposed Live Parts
<b>SA</b>	Electricity Act 1996
<b>TAS</b>	Tasmanian Electricity Supply Industry Act 1995
<b>WA</b>	Electricity Act 1945
	Electricity Regulations 1947
<b>NT</b>	Electricity Reform Act 2005
	Electricity Reform (Safety and Technical) Regulations 2005
<b>ACT</b>	Electricity Act 1971

Thank You,

**nbn BYDA**

Date: 15/12/2024

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Referral

248801807

Member Phone

1800 653 935

Responses from this member

Response received Mon 16 Dec 2024 12.57pm

File name	Page
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248801807.pdf	40
Telstra Map Legend 4.0b.pdf	42
AccreditedPlantLocators 2024-09-13a.pdf	43

**Attention:** Laura Vallentine

**Site Location:** 28 Brown St, Dungog, NSW 2420

**Your Job Reference:** 24\_001\_28 Brown ST

**Please do not reply to this email, this is an automated message -**

Thank you for requesting Telstra information via Before You Dig Australia (BYDA).

This response contains Telstra information relating to your recent BYDA request.

Information for opening Telstra Asset Plans as well as some other useful contact information is listed in the attached **Telstra Map Legend** **attached**.

**Please refer to all enclosed attachments for more information.**

**Please Report Damage to Telstra Equipment:** [Report damages to Telstra equipment - Telstra](#)

Please note:

When working in the vicinity of telecommunications plant you have a 'Duty of Care' that must be observed.

Please ensure you read the 'Telstra Duty of Care' document (attached) - it contains important information including essential steps that must be undertaken prior to commencing construction activities.

**WARNING - MAJOR CABLES and/or OPTIC FIBRE IN THE AREA.**

**Phone 1800 653 935 for further assistance.**

Note: In some areas Telstra fibre routes may be marked as "Amcom", as Telstra has purchased much of this infrastructure. If in doubt, please contact Telstra Plan services on the number above. Telstra plans and information are only valid for 60 days from the date of issue.

**WARNING:**

Telstra plans and location information conform to Quality Level 'D' of the Australian Standard AS 5488 - Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing them. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra assets prior to commencing work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the assets are protected during construction works. See the [Steps - Working Near Telecommunications Assets \(attached Telstra Duty of Care\)](#).

Please note that:

- it is a criminal offence under the *Criminal Code Act 1995* (Cth) to tamper or interfere with telecommunications infrastructure.
- Telstra will take action to recover compensation for damage caused to property and assets, and for interference with the operation of Telstra's networks and customers' services.

Telstra's plans contain Telstra's confidential information and are provided on the basis that they are used solely for identifying the location or vicinity of Telstra's infrastructure to avoid damage to this infrastructure occurring as part of any digging or other excavation activity. You must not use Telstra's plans for any other purpose or in a way that will cause Telstra loss or damage and you must comply with any other terms of access to the data that have been provided to you by Telstra (including Conditions of Use or Access).

*(See attached file: Telstra Duty of Care v32.0b.pdf)*

*(See attached file: Telstra Map Legend 4.0b.pdf)*

*(See attached file: AccreditedPlantLocators 2024-09-13a.pdf)*

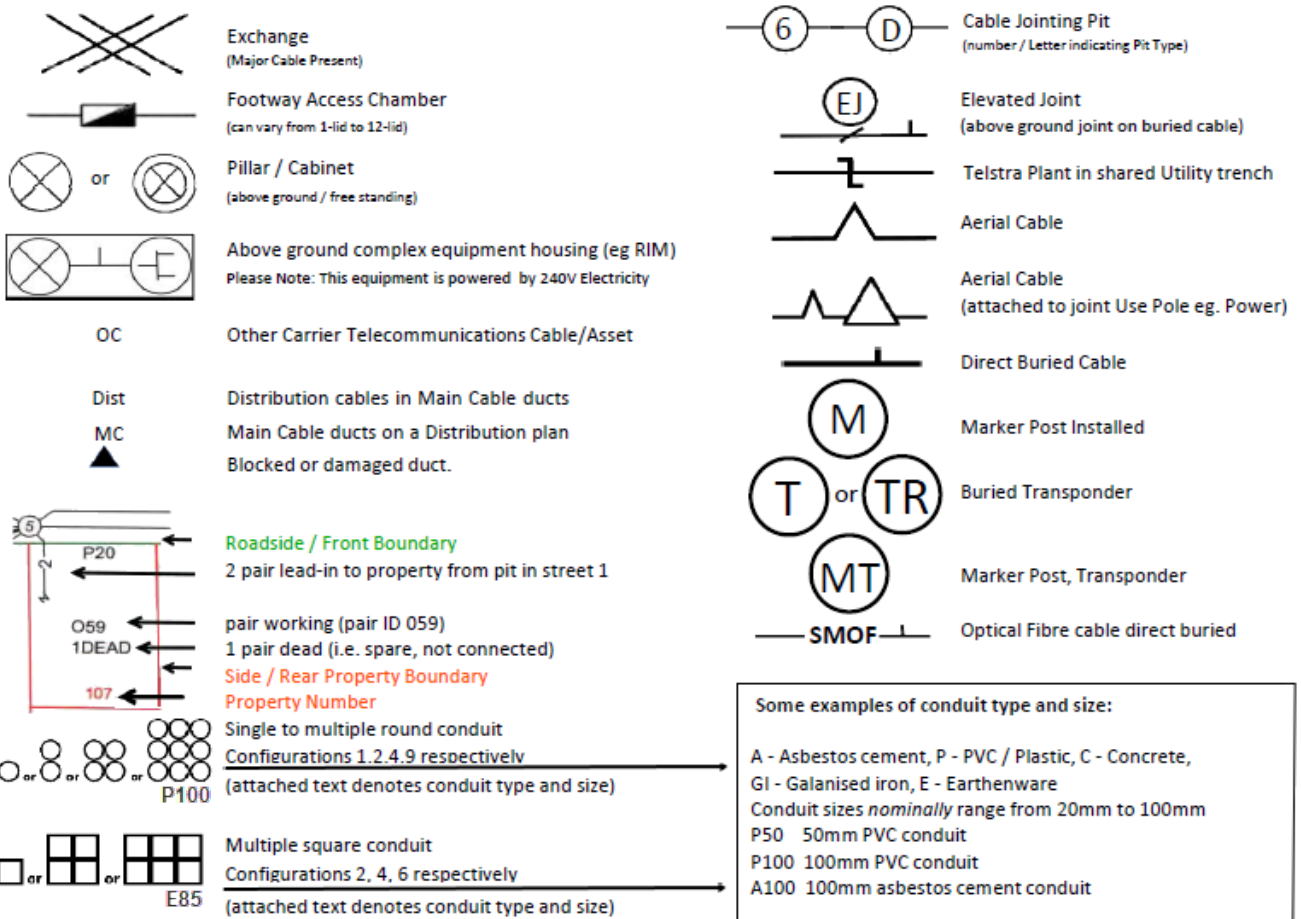
*(See attached file: 248801807.pdf)*



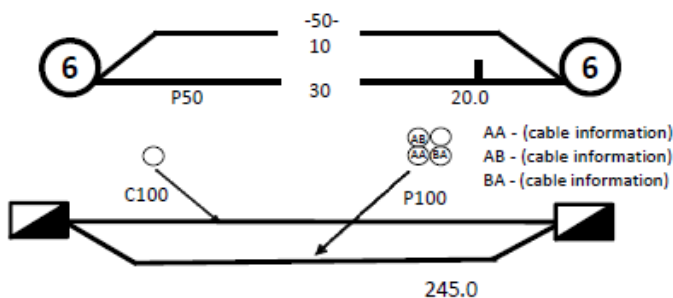




## LEGEND



### Some Examples of how to read Telstra Plans



One 50mm PVC conduit (P50) containing a 50-pair and a 10-pair cable between two 6-pits, approximately 20.0m apart, with a direct buried 30-pair cable along the same route

Two separate conduit runs between two footway access chambers (manholes) approximately 245m apart. A nest of four 100mm PVC conduits (P100) containing assorted cables in three ducts (one being empty) and one empty 100mm concrete duct (C100) along

## Protect our Network:

by maintaining the following distances from our assets:

- 1.0m Mechanical Excavators, Farm Ploughing, Tree Removal
- 500mm Vibrating Plate or Wacker Packer Compactor
- 600mm Heavy Vehicle Traffic (over 3 tonnes) not to be driven across Telstra ducts or plant.
- 1.0m Jackhammers/Pneumatic Breakers
- 2.0m Boring Equipment (in-line, horizontal and vertical)

For more info contact a [CERTLOC Certified Locating Organisation \(CLO\)](#) or Telstra Location Intelligence Team 1800 653 935



## OPENING ELECTRONIC MAP ATTACHMENTS –

Telstra Cable Plans are generated automatically in either PDF or DWF file types.  
Dependent on the site address and the size of area selected.  
You may need to download and install free viewing software from the internet e.g.



DWF Map Files (all sizes over A3)  
Autodesk Viewer (Internet Browser) <https://viewer.autodesk.com/> or  
Autodesk Design Review <http://usa.autodesk.com/design-review/> for  
DWF files. (Windows PC)



PDF Map Files (max size A3)  
Adobe Acrobat Reader <http://get.adobe.com/reader/>



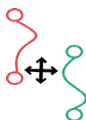
Telstra BYDA map related enquiries email  
[Telstra.Plans@team.telstra.com](mailto:Telstra.Plans@team.telstra.com)  
1800 653 935 (AEST Business Hours only)



REPORT ANY DAMAGE TO THE TELSTRA NETWORK IMMEDIATELY  
Report online - <https://www.telstra.com.au/forms/report-damage-to-telstra-equipment>  
Ph: 13 22 03  
If you receive a message asking for a phone or account number say:  
“I don’t have one” then say “Report Damage” then press 1 to speak  
to an operator.



Telstra New Connections / Disconnections  
13 22 00



Telstra asset relocation enquiries: 1800 810 443 (AEST business  
hours only).  
[NetworkIntegrity@team.telstra.com](mailto:NetworkIntegrity@team.telstra.com)  
<https://www.telstra.com.au/consumer-advice/digging-construction>



Telstra Aerial Assets Group (overhead network)  
1800 047 909



CERTLOC Certified Locating Organisation (CLO)  
[certloc.com.au/locators/](https://certloc.com.au/locators/)





## End of document

**i** This document may exclude some files (eg. DWF or ZIP files)

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